



421 W. RIVERSIDE
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ADDENDUM NO. 1

December 5, 2023

ALDER HOUSE RENOVATION
South Bend, Washington

The following addendum items shall become part of the Contract Documents for the above referenced project.

GENERAL

Item No. 1: Sign-in sheet from the pre-bid walkthrough is attached for reference.

PROJECT MANUAL

Item No. 2: Section 004113 – BID FORM
Replace **Bid Form** in its entirety with the one attached.

Item No. 3: Section 009100 – SPECIAL CONDITIONS
Replace **Special Conditions** in its entirety with the one attached.

Item No. 4: Section 012100 – ALLOWANCES
Replace **Allowances** in its entirety with the one attached.

Item No. 5: Section 230000 – HVAC
Replace **Section 1.7, paragraph A** with the following:

General: Provide acoustical lining in the first 10 feet of main OSA supply and return ductwork from ERV-1, 2, 3, & 4 as well as in first 10 feet of main supply and return ducts from SSI-1, 2, & 3.

Item No. 6: Section 230000 – HVAC
Replace **Section 1.7, Paragraph E** with the following:

Insulation: Provide R-6 insulation on all ductwork in crawl space and in attic space per WSEC 2018, Table C403.10.1.2.

Addendum

Item No. 7: Section 260000 – ELECTRICAL
Section 1.7, Paragraph A. Modify as follows:

Obtain and pay for required permits and fees necessary to fully complete work included in the Contract Documents. ~~Include all required utility company fees or charges for electrical power service or revisions to existing service.~~ *Owner shall pay the utility company fees for service upgrades.*

Item No. 8: Section 260000 – ELECTRICAL
Section 2.8, Paragraph G and **Section 2.9 Paragraph A** call for Square D Type panelboards. *Square D, Cuttler Hammers, GE, Siemens, or other panelboards of equal standards shall be permitted.*

DRAWINGS

Item No. 9: Replace **Sheet G101** in its entirety with the one attached.

Item No. 10: Replace **Sheet A301** in its entirety with the one attached.

Item No. 11: Replace **Sheet A302** in its entirety with the one attached.

Item No. 12: Replace **Sheet A601** in its entirety with the one attached.

Item No. 13: Add the attached **Sheet M501**.

Item No. 14: Replace **Sheet E002** in its entirety with the one attached.

Item No. 15: Replace **Sheet E101** in its entirety with the one attached.

Item No. 16: Replace **Sheet E301** in its entirety with the one attached.

Item No. 17: Replace **Sheet E302** in its entirety with the one attached.

Item No. 18: Replace **Sheet E403** in its entirety with the one attached.

Item No. 19: Replace **Sheet E802** in its entirety with the one attached.

Item No. 20: Replace **Sheet E902** in its entirety with the one attached.

SUBSTITUTION REQUESTS - ACCEPTED FOR BIDDING

Section/Paragraph	Item	Manufacturer
102800, Section 2.2	Toilet & Bath Accessories	American Specialties, Inc
230000, Section 1.12	Split System Air Handler Indoor Unit	Samsung
230000, Section 1.13	Split System Air Handler Outdoor Unit	Samsung
230000, Section 1.15	Energy Recovery Ventilators	S&P

****END OF ADDENDUM****

SIGN-IN SHEET



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Project: Alder House Renovation

Date: November 20, 2023

NAME	COMPANY	PHONE/E-MAIL
Bianca White	Founder's Choice	253-475-5544 Ext 114 BiancaW@Founderschoice.com
April Termini	Christensen Inc.	360.709.0330 info@cincgc.com
Steven Fields	Deacon Construction	206-584-5671 Steven.Fields@deacon.com
Paul Orth	Ja Morris	360 556 4439 Paul@JAMorrisConstruction.com
Brian Warden	Rubenstein's	206-423-1592 brianw@rubensteins.com
Kevin Berry	Rubenstein's	360-239-3349
Bryce Miller	Pacific Tech Construction	360-414-8084 Estimating@PacTechGroup.com
PAUL CONNER	BETSCHART ELECTRIC	360-870-0089 paulc@betschartelectric.com
BRANDON BATES	OLYMPIA SHEET METAL	360 888 6686 brandonb@olyshmetal.com

SIGN-IN SHEET



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Project: Alder House Renovation

Date: November 20, 2023

NAME	COMPANY	PHONE/E-MAIL
John Boyer	Reliable Electric	360-701-1904 johnb@reliableelectric.biz
Brian Murray	Travers Electric	360-748-0059 brian@traverselectric.net
Dan Pink	Travers Electric	Dan@traverselectric.net
Dave Brentan	Rognlin's, Inc.	bids@rognlins.com
TRAVIS Johnson	Capital Heating	TRAVIS@CAPITALHEATING AND COOLING.COM

DIVISION 0 – PROCUREMENT AND CONTRACTING REQUIREMENTS

DOCUMENT 004113 - BID FORM - STIPULATED SUM (SINGLE-PRIME CONTRACT)

1.1 BID INFORMATION

- A. Bidder: _____.
- B. Project Name: Alder House Renovation
- C. Project Location: South Bend, Washington
- D. Owner: Joint Pacific County Housing Authority
- E. Architect: ZBA Architecture, P.S.

1.2 CERTIFICATIONS AND BASE BID

- A. Base Bid, Single-Prime (All Trades) Contract: The undersigned Bidder, having carefully examined the Procurement and Contracting Requirements, Conditions of the Contract, Drawings, Specifications, and all subsequent Addenda, as prepared by ZBA Architecture, P.S. and Architect's consultants, having visited the site, and being familiar with all conditions and requirements of the Work, hereby agrees to furnish all material, labor, equipment and services, including all scheduled allowances, necessary to complete the construction of the above-named project, according to the requirements of the Procurement and Contracting Documents, for the stipulated sum of:
 - 1. _____ Dollars (\$_____).
 - 2. Include sales taxes only as described in Special Conditions, 11.1 Taxes.

1.3 BID GUARANTEE

- A. The undersigned Bidder agrees to execute a contract for this Work in the above amount and to furnish surety as specified within 10 days after a written Notice of Award, if offered within 60 days after receipt of bids, and on failure to do so agrees to forfeit to Owner the attached cash, cashier's check, certified check, U.S. money order, or bid bond, as liquidated damages for such failure, in the following amount constituting five percent (5%) of the Base Bid amount above:
 - 1. _____ Dollars (\$_____).
- B. In the event Owner does not offer Notice of Award within the time limits stated above, Owner will return to the undersigned the cash, cashier's check, certified check, U.S. money order, or bid bond.

1.4 PERFORMANCE/PAYMENT BOND

- A. General Performance: Undersigned agrees, if awarded Contract, to furnish and deliver to the Owner within ten (10) calendar days of "Notice of Intent to Award", satisfactory performance Bond and Labor Material Payment Bond in form currently issued by American Institute of

DIVISION 0 – PROCUREMENT AND CONTRACTING REQUIREMENTS

Architects in amount equal to 100 percent of contract sum, inclusive of Washington State Sales Tax as applicable.

1. Section 008100 - Performance and Payment Form.

- a. The Contractor’s Performance / Payment Bond shall be duly executed in the form of a Performance Bond, AIA Document A312 as attached in Section 008100.

1.5 SUBCONTRACTORS AND SUPPLIERS

- A. Submit “Statutory Subcontractor Listing per Section 004324.

1.6 TIME OF COMPLETION

- A. The undersigned acknowledges and agrees to abide by all provision of the “Time for Completion” section of the Special Conditions and provisions under Article 9 of the General Conditions of the Contract.

1.7 ACKNOWLEDGEMENT OF ADDENDA

- A. The undersigned Bidder acknowledges receipt of and use of the following Addenda in the preparation of this Bid:
 - 1. Addendum No. 1, dated _____.
 - 2. Addendum No. 2, dated _____.
 - 3. Addendum No. 3, dated _____.
 - 4. Addendum No. 4, dated _____.
 - 5. Addendum No. 5, dated _____.

1.8 BIDDER RESPONSIBILITY CRITERIA – SWORN STATEMENT

- A. By signing this Bid Form, the Bidder is verifying under penalty of perjury that the Bidder is in compliance with the Responsible Bidder Criteria, pursuant to RCW 39.04.350 and as stated in the project Special Conditions, section 009100.

DIVISION 0 – PROCUREMENT AND CONTRACTING REQUIREMENTS

1.9 BID SUPPLEMENTS

- A. The following supplements are a part of this Bid Form and are attached hereto.
 - 1. Bid Form Supplement - Unit Prices
 - 2. Bid Form Supplement - Alternate
 - 3. Bid Form Supplement - Subcontractor Listing Form
 - 4. Bid Form Supplement - Bid Bond Form (AIA Document A310)
 - 5. Bid Form Supplement – Supplementary Bidder Criteria Questionnaire

1.10 CONTRACTOR'S LICENSE

- A. The undersigned further states that it is a duly licensed contractor, for the type of work proposed, in the State of Washington and that all fees, permits, etc., pursuant to submitting this proposal have been paid in full.

1.11 SUBMISSION OF BID

- A. Respectfully submitted this _____ day of _____, 2023.
- B. Submitted By: _____
(Name of bidding firm or corporation)
- C. Authorized Signature: _____
(Handwritten signature)
- D. Signed By: _____
(Type or print name)
- E. Title: _____
- F. Address: _____
- G. Phone: _____
- H. License No.: _____
- I. Seal - (If bid is by a corporation)

END OF DOCUMENT 004113

DOCUMENT 009100 - SPECIAL CONDITIONS

1.1 GENERAL

- A. All applicable Federal, State and Local codes, ordinances and regulations shall apply to this Work. Without limiting the generality of the foregoing, special attention is directed to Title 39 of RCW, "Public Contracts and Indebtedness". Certain parts of Title 39 RCW are addressed in these Special Conditions, but all applicable provisions of Title 39 RCW shall be complied with whether or not addressed herein.

2.1 CONTRACTOR'S LICENSE

- A. Contractor and all of Contractor's subcontractors for this Work shall be licensed as required by the State of Washington.

3.1 TIME FOR COMPLETION

- A. All Work in this Contract shall be substantially complete within 365 consecutive calendar days from the Notice to Proceed. Extensions may be granted due to conditions beyond the control of the Contractor or his Subcontractors. Validity of such conditions shall be determined solely by the Architect.

A Notice to Proceed ("NTP") with construction will be issued by the Owner on or about March 1, 2024.

4.1 SUBSTANTIAL COMPLETION

- A. The Project shall be deemed to have achieved "Substantial Completion" when all of the following have occurred:
 - 1. The Project architect has issued a Certificate of Substantial Completion (AIA Form G704 or the equivalent);
 - 2. The Project is capable of being beneficially occupied for its intended use;
and
 - 3. A certificate of occupancy or the equivalent governmental permit has been issued that allows the Project to be occupied.

5.1 LIQUIDATED DAMAGES

- A. Liquidated damages of \$1000.00 per day shall be paid by the Contractor to the Owner for each day beyond Time for Completion that construction is required for completion of the Work. Completion shall be considered the date on which the Architect issues a Certificate of Substantial Completion. Substantial Completion shall be as determined solely by the Architect.

DIVISION 0 – PROCUREMENT AND CONTRACTING REQUIREMENTS

6.1 FINAL COMPLETION

- A. Final Completion shall occur within 30 days of Substantial Completion. The Project shall be deemed to have achieved “Final Completion” when all of the items set forth in Section 4 hereof have occurred and all of the following additional items have occurred:
 - 1. The Project architect has issued a Final Certificate for Payment;
 - 2. All punch list items have been completed to the satisfaction of the Project architect and Owner; and
 - 3. Owner has received full and final lien waivers from the Contractor and all subcontractors and material suppliers, irrespective of tier, together with a Contractor’s affidavit or sworn statement covering all Work for the Project.

7.1 RETAINAGE

- A. In connection with each disbursement on account of any hard cost item due, an amount (the “Retainage”) equal to five percent (5%) of that portion of the Contract sum allocable to each portion of the Work completed shall be deducted from each progress payment under the Contract. The Retainage, less any deductions from the Contract sum provided for under the Contract, shall be paid upon Final Completion of the Work and in accordance with Chapter 60.28 RCW. In lieu of retainage, the Contractor may submit a retainage bond.

8.1 BOND

- A. Performance (AIA Document A312-2010) and Payment Bonds (AIA Document A312-2010) equal to 100% of the contract amount shall be furnished by the Contractor, as specified in the General Conditions. Bonds will be required for all subcontractors with bids over \$250,000.00 and may be required of others.

9.1 SPECIAL PAYMENT REQUIREMENTS

- A. Before payment is made to the Contractor of any sums due under this Contract, the Owner must receive from the Contractor and each Subcontractor a copy of "Statement of Intent to Pay Prevailing Wages", approved by the Washington State Department of Labor and Industries.
- B. Upon completion of this Contract, the Owner must receive from the Contractor and each Subcontractor a copy of "Affidavit of Wages Paid" approved by the State Department of Labor and Industries. In addition, the Owner must receive from the Contractor a copy of "Request for Release" approved by the State Department of Labor and Industries. These affidavits will be required before any funds retained are released to the Contractor. Forms may be obtained from the Department of Labor and Industries. A fee for each "Statement of Intent to Pay Prevailing Wages" and "Affidavit of Wages Paid" is required to accompany each form submitted to the Department of Labor and Industries. The Contractor is responsible for payment of these fees and shall make all applications directly to the Department of Labor and Industries.

DIVISION 0 – PROCUREMENT AND CONTRACTING REQUIREMENTS

10.1 WAGE RATES

- A. This project is subject to Federal Davis Bacon wage rates. No workmen, laborer, or mechanic employed in the performance of any part of this Contract shall be paid less than the wage rate as determined by the Davis-Bacon Wage Determination as published at SAM.gov.
- B. It shall be the sole responsibility of the Contractor to assign the appropriate classification to all laborers, workers or mechanics that perform any work pursuant to this Contract, in conformance with the scope of work descriptions of the Industrial Statistician of the Washington State Department of Labor and Industries. It shall also be the Contractor's sole responsibility to ascertain the applicable prevailing rate of wage for each such classification.
|
The Contractor shall maintain a list containing each such classification and the prevailing rate of wage for each classification for all work performed on this Contract. The Contractor shall provide this list to all subcontractors and the Owner at the commencement of Work. Laborers, workers, and mechanics must be paid in full at least once each week and in lawful money of the United States.
- C. The Contractor shall require Subcontractors to list wage rates used in their bid. Contractor shall ensure the proper residential rate is used for each trade.
- D. The Contractor shall be responsible for compliance of all subcontractors with payroll reporting requirements and payment of prevailing wages. The Contractor shall require that all persons doing any portion of the Work shall be employed by the Contractor or a subcontractor and are paid by the Contractor or subcontractor and not by or through any third party. Failure to pay the applicable wage rate to workers, laborers, and mechanics employed on the project is a material breach of the contract and subject to investigation and may result in civil and/or criminal liability.

11.1 TAXES

- A. **Sales tax will not be charged to the Owner for Labor.** Contractor shall pay all applicable State and Local Taxes in the fulfillment of all specifications and other terms of this contract for materials. Contractor shall include Washington State Sales Tax on the lump sum bid (for only materials used in conjunction with this project). The amount of tax reported and paid by the Contractor to the Washington State Department of Revenue due to any and all payments made to the Contractor for the work performed under this contract shall be coded to the proper local or county authority by using the proper tax location code. The tax location code for South Bend is: 2504.
- B. Additionally, the Contractor shall require all subcontractors performing work under this Contract to use the proper tax code location in reporting tax to the Washington State Department of Revenue for the payments they receive from the Contractor.
- C. The Contractor shall provide to the Owner copies of all State tax returns showing that the tax has been reported in compliance with the above paragraphs.

DIVISION 0 – PROCUREMENT AND CONTRACTING REQUIREMENTS

12.1 USE OF APPRENTICES

- A. Contractor and Subcontractors shall comply with State of Washington Apprenticeship Participation requirements as specified on the instruction sheet and participation sheet included in this Project Manual. The Contractor shall provide that 15% of all hours needed to complete the project are apprentice hours. The 15% of hours can be provided totally in one trade or can be distributed to all trades. Monthly reports will be filed with the Architect and Owner showing how this requirement will be met.

13.1 INADVERTANT DISCOVERY

- A. During excavation should artifacts be discovered, cease all excavation activities and notify the Owner and Architect immediate. Under the Native American Graves Protection and Repatriation Act (NAGPRA) states that Native American remains and associated funerary objects belong to lineal descendants. If lineal descendants cannot be identified, then those remains and objects, along with associated funerary and sacred objects, and objects of cultural patrimony belong to the tribe on whose lands the remains were found or the tribe having the closest known relationship to them.

14.1 DEBARMENT AND SUSPENSION

- A. The Contractor shall provide certification that it is in compliance with and shall not contract with individuals or organizations which are debarred, suspended, or otherwise excluded from or ineligible from participation in Federal Assistance Programs under Executive Order No. 12549 and “Debarment and Suspension”, codified at 29 CFR part 98.

15.1 CHANGE ORDER MARK-UP

- A. When a Change Order involves an increase in the Contract Sum, allowances for combined overhead and profit shall be computed as follows:

- 10% on direct costs of Prime Contractor's work;
- 10% Subcontractor Markup on Subcontractor's direct costs;
- 5% on direct cost of equipment requiring no labor for installation;
- 10% Prime Contractor Markup on Subcontractor's direct costs.

16.1 OTHER REQUIREMENTS

- A. Contractor and Subcontractors may also be required to submit, as determined by the Owner, Non-Collusion Affidavit, Statement of Non-Discrimination, and Equal Employment Opportunity Certification. Minority-Owned and Women-Owned firms are encouraged to submit bids.
- B. Construction Schedule, Subcontractor List, Performance and Payment Bond shall be received and approved by the Owner prior to the issuance of the Notice to Proceed.
- C. Contractor shall be required to submit a list of subcontractors and subcontract amounts. Contractors may also be required to submit copies of subcontracts which exceed \$100,000.00. Contractor shall submit Interim Lien / Claim Waiver with each application for payment.

DIVISION 0 – PROCUREMENT AND CONTRACTING REQUIREMENTS

17.1 BIDDER RESPONSIBILITY CRITERIA

- A. It is the intent of the Owner to award a contract to the “responsible” bidder submitting the lowest “responsive” bid for the project. Before award of a public works contract, a bidder must meet the following responsibility criteria to be considered a responsible bidder and qualified to be awarded a public works project. In addition, the bidder may be required by the Owner to submit documentation demonstrating compliance with these requirements. The bidder must at the time of bid submittal:
1. Have a certificate of registration in compliance with chapter 18.27 RCW;
 2. Have a current state unified business identifier number.
 3. Have industrial insurance coverage for the bidder’s employees working in Washington as required in Title 51 RCW; an employment security department number as required in Title 50 RCW; and a state excise tax registration number as required in Title 82 RCW; and
 4. Not be disqualified from bidding on any public works contract under RCW 39.06.010 or 39.12.065(3).
 5. Not have been found out of compliance by the Washington state apprenticeship and training council for working apprentices out of ratio, without appropriate supervision, or outside their approved work processes as outlined in their standards of apprenticeship under chapter 49.04 RCW for the one-year period immediately preceding the date of the bid solicitation;
 6. Have received training on the requirements related to public works and prevailing wage under this chapter and chapter 39.12 RCW. The bidder must designate a person or persons to be trained on these requirements. The training must be provided by the department of labor and industries or by a training provider whose curriculum is approved by the department. The department, in consultation with the prevailing wage advisory committee, must determine the length of the training. Bidders that have completed three or more public works projects and have had a valid business license in Washington for three or more years are exempt from this subsection. The department of labor and industries must keep records of entities that have satisfied the training requirement or are exempt and make the records available on its website. Responsible parties may rely on the records made available by the department regarding satisfaction of the training requirement or exemption; and
 7. Within the three-year period immediately preceding the date of the bid solicitation, not have been determined by a final and binding citation and notice of assessment issued by the department of labor and industries or through a civil judgment entered by a court of limited or general jurisdiction to have willfully violated, as defined in RCW 49.48.082, any provision of chapter 49.46, 49.48, or 49.52 RCW.

DIVISION 0 – PROCUREMENT AND CONTRACTING REQUIREMENTS

A. SUBCONTRACTOR RESPONSIBILITY

1. The Contractor shall include the language of this section in each of its first tier subcontracts, and shall require each of its subcontractors to include the same language of this section in each of their subcontracts, adjusting only as necessary the terms used for the contracting parties. Upon request of the Owner, the Contractor shall promptly provide documentation to the Owner demonstrating that the subcontractor meets the subcontractor responsibility criteria below. The requirements of this section apply to all subcontractors regardless of tier.
2. At the time of subcontract execution, the Contractor shall verify that each of its first tier subcontractors meets the following bidder responsibility criteria:
 - a) Have a current certificate of registration in compliance with chapter 18.27 RCW, which must have been in effect at the time of subcontract bid submittal;
 - b) Have a current Washington Unified Business Identifier (UBI) number;
 - c) Have Industrial Insurance (workers' compensation) coverage for the subcontractor's employees working in Washington, as required in Title 51 RCW; A Washington Employment Security Department number, as required in Title 50 RCW; A Washington Department of Revenue state excise tax registration number, as required in Title 82 RCW; An electrical contractor license, if required by Chapter 19.28 RCW; An elevator contractor license, if required by Chapter 70.87 RCW.
 - d) Not be disqualified from bidding on any public works contract under RCW 39.06.010 or 39.12.065 (3).

18.1 SUPPLEMENTAL BIDDER CRITERIA

- A. Pursuant to RCW 39.04.350 the Owner has established relevant Supplemental Bidder Responsibility Criteria applicable to this particular project for determining bidder responsibility, including the basis for evaluation and the deadline for appealing a determination that a bidder is not responsible.
- B. The Bidder, by written request in a timely manner but not later than seven (7) days prior to bid opening, may request the Owner's modify the supplemental criteria. Requests should be addressed to ZBA Architecture. The Owner will evaluate the request submitted by the potential bidder and respond before the bid submittal deadline. If the evaluation results in a change of the criteria, the Owner will issue an addendum to the bidding documents identifying the new criteria.

DIVISION 0 – PROCUREMENT AND CONTRACTING REQUIREMENTS

- C. The bidder must meet the following relevant supplemental bidder responsibility criteria applicable to the project. Projects may qualify for more than one criteria.
1. Satisfactory experience of no less than two (2) projects in the past seven (7) years, acting as general contractor, **consisting of constructing new or substantial renovation of state or federally funded affordable housing facilities**. The projects listed must be of a similar scope of work to this project, with a total direct cost of construction (excluding design fees, furnishings, equipment, financing, legal fees, sales tax, and other pre- and post-construction expenses) of over \$3,000,000 per project.
 2. Satisfactory experience of no less than two (2) **Public Works projects** (RCW 39.04) for Washington State or any Washington municipality therein in the past seven (7) years, acting as a general contractor. "Municipality" includes any city, county, town, port district, district, or other public agency authorized by law to require the execution of Washington State public work. The total combined value of the projects listed must have a total direct cost of construction (excluding design fees, furnishings, equipment, financing, legal fees, sales tax, and other pre- and post-construction expenses) of over \$4,000,000.
- D. Documentation: Bidding General Contractors shall submit AIA Document A305 and the Qualification Questionnaire included at the end of this Section with their bids as set forth in Section 00113.
- E. Appeal of Bidder Criteria: If a bidder that has been determined to be “not responsible,” the bidder so determined may appeal the determination to the Owner’s Representative within two (2) business days after receiving notification of the determination by providing (i) the basis for the objection, (ii) any additional information which bidder believes will bears on the appeal and (iii) an email address where the Owner’s final determination can be delivered. The Owner will consider the additional information before issuing its final determination. If the final determination affirms that the bidder is not responsible, the Owner will not execute a contract with any other bidder until two business days after the bidder determined to be not responsible has received the final determination which may be transmitted by any means, including electronic mail.

END OF DOCUMENT 009100

SECTION 012100 - ALLOWANCES

PART 1 - GENERAL

1.1 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and other Division 01 Specification Sections, apply to this Section.

1.2 SUMMARY

- A. Section includes administrative and procedural requirements governing allowances.
- B. Types of allowances include the following:
 - 1. Lump-sum allowances.
 - 2. Quantity allowances.

1.3 DEFINITIONS

- A. Allowance: A quantity of work or dollar amount included in the Contract, established in lieu of additional requirements, used to defer selection of actual materials and equipment to a later date when direction will be provided to Contractor. If necessary, additional requirements will be issued by Change Order.

1.4 INFORMATIONAL SUBMITTALS

- A. Submit invoices or delivery slips to show actual quantities of materials delivered to the site for use in fulfillment of each allowance.
- B. Submit time sheets and other documentation to show labor time and cost for installation of allowance items that include installation as part of the allowance.

1.5 LUMP-SUM ALLOWANCES

- A. Allowance shall include cost to Contractor of specific products and materials ordered by Owner or selected by Architect under allowance and shall include taxes as described in Section 009100, and delivery to Project site.
- B. Unless otherwise indicated, Contractor's costs for receiving and handling at Project site, labor, installation, overhead and profit, and similar costs related to products and materials ordered by Owner or selected by Architect under allowance shall be included as part of the Contract Sum and not part of the allowance.

1.6 QUANTITY ALLOWANCES

- A. Allowance shall include cost to Contractor of specific products and materials ordered by Owner or selected by Architect under allowance and shall include taxes as described in Section 009100, and delivery to Project site.
- B. Unused Materials: Return unused materials purchased under an allowance to manufacturer or supplier for credit to Owner, after installation has been completed and accepted.
 - 1. If requested by Architect, retain and prepare unused material for storage by Owner. Deliver unused material to Owner's storage space as directed.

1.7 ADJUSTMENT OF ALLOWANCES

- A. Allowance Adjustment: To adjust allowance amounts, prepare a Change Order proposal based on the difference between purchase amount and the allowance, multiplied by final measurement of work-in-place where applicable. If applicable, include reasonable allowances for cutting losses, tolerances, mixing wastes, normal product imperfections, required maintenance materials, and similar margins.
 - 1. Include installation costs in purchase amount only where indicated as part of the allowance.
 - 2. If requested, prepare explanation and documentation to substantiate distribution of overhead costs and other markups.
- B. Submit claims for increased costs due to a change in the scope or nature of the allowance described in the Contract Documents, whether for the purchase order amount or Contractor's handling, labor, installation, overhead, and profit.

PART 2 - PRODUCTS (Not Used)

PART 3 - EXECUTION

3.1 SCHEDULE OF ALLOWANCES

- A. Allowance No. 1: Lump-Sum Allowance: Include the sum of \$25,000.00 for landscape repairs.
 - 1. This allowance includes material, receiving, handling, and installation costs, and Contractor overhead and profit.
- B. Allowance No. 2: Quantity Allowance: Include 1500 SF of liquid-applied self-leveling floor underlayment and primer as described in Section 035300 "Cast Underlayment".
 - 1. This allowance includes material, receiving, handling, and installation costs, and Contractor overhead and profit.

DIVISION 01 – GENERAL REQUIREMENTS

- C. Allowance No. 3: Quantity Allowance: Include 8000 SF of plywood underlayment as described in Section 061000 “Rough Carpentry”.
1. This allowance includes material, receiving, handling, and installation costs, and Contractor overhead and profit.

END OF SECTION 012100

ABBREVIATIONS	
A/C	AIR CONDITIONING
AB	ANCHOR BOLT
ACC	ACCESSIBLE
ACS PNL	ACCESS PANEL
ACT	ACOUSTICAL CEILING TILE
AD	AREA DRAIN
AF	ABOVE FINISH FLOOR
ALUM	ALUMINUM
APA	AMERICAN PLYWOOD ASSOCIATION
ARCH	ARCHITECT (URAL)
BD	BOARD
BLDG	BUILDING
BLKG	BLOCKING
BM	BEAM
BOT	BOTTOM
BR	BEDROOM
BRG	BEARING
BTWN	BETWEEN
BUR	BUILT-UP ROOFING
CAB	CABINET
CB	CATCH BASIN
CF/CI	CONTRACTOR FURNISHED/ CONTRACTOR INSTALLED
CF/OI	CONTRACTOR FURNISHED/ OWNER INSTALLED
CJ	CONTROL JOINT
CL	CENTER LINE
CL6	CEILING
CLO	CLOSET
CLR	CLEAR
CMU	CONCRETE MASONRY UNIT
COL	COLLUMN
CONC	CONCRETE
CONSTR	CONSTRUCTION
CONTR	CONTRACTOR
CPT	CARPET
CSK	COUNTERSUNK
CT	CERAMIC TILE
CU FT	CUBIC FEET
CU YD	CUBIC YARD
D	DEEP
DBL	DOUBLE
DET	DETAIL
DF	DRINKING FOUNTAIN
DIA	DIAMETER
DIAG	DIAGONAL
DIM	DIMENSION
DIV	DIVISION
DL	DEAD LOAD
DR	DOOR
DS	DOWNSPOUT
DTL	DETAIL
DW	DISHWASHER
DWG	DRAWING
(E)	EXIST TO REMAIN
E	EAST
EJ	EXPANSION JOINT
EL	ELEVATION
ELEC	ELECTRIC(AL)
ELEV	ELEVATOR
EQ	EQUAL
EQUIP	EQUIPMENT
EX	EACH WAY
EXH	EXHAUST
EXIST	EXISTING
EXP	EXPOSED, EXPANSION
EXP BT	EXPANSION BOLT
EXT	EXTERIOR
FA	FIRE ALARM
FD	FLOOR DRAIN
FDG	FIRE DEPARTMENT CONNECTION
FDTN	FOUNDATION
FE	FIRE EXTINGUISHER
FEC	FIRE EXTINGUISHER CABINET
FF	FACTORY FINISH
FH	FIRE HYDRANT
FIN	FINISH
FLR	FLOOR(ING)
FLVR	FLUORESCENT
FR	FIRE RESISTANT
FR	FRAME(D)(ING)
FRP	FIBERGLASS REINFORCED PLASTIC
FRTR	FIRE RETARDANT TREATED WOOD
FT	FEET
FTG	FOOTING
GA	GAGE, GAUGE
GALV	GALVANIZED
GB	GRAB BAR
GC	GENERAL CONTRACTOR
GFCI	GROUND FAULT CIRCUIT INTERRUPT
GL	GLASS, GLAZING
GLU LAM	GLUE LAMINATED WOOD
GUT	GUTTER
GYP BD	GYPSON BOARD
H	HIGH
HB	HOSE BIBB
HCND	HOLLOW CORE WOOD DOOR
HDW	HARDWARE
HM	HOLLOW METAL
HORIZ	HORIZONTAL
HP	HEAT PUMP
HT	HEIGHT
HVAC	HEATING, VENTILATING, & AIR CONDITIONING
ID	INSIDE DIAMETER
INCL	INCLUDE(D)(ING)
INSUL	INSULATE(D)(ION)
INT	INTERIOR
INV	INVERT
JAN	JANITOR
JT	JOINT
KIT	KITCHEN
L	LONG
LAM	LAMINATE(D)(ION)
LAV	LAVATORY
LF	LINEAR FEET
LN	LINEAR
LL	LIVE LOAD
LT	LIGHT
LVP	LUXURY VINYL PLANK
MATL	MATERIAL
MECH	MECHANICAL
MEZZ	MEZZANINE
MFR	MANUFACTURER
MH	MANHOLE
MIN	MINIMUM
MO	MASONRY OPENING
MT	MOUNT(ED)
MTL	METAL
N	NORTH
NIC	NOT IN CONTRACT
NOM	NOMINAL
NTS	NOT TO SCALE
OC	ON CENTER
OD	OUTSIDE DIAMETER
OF/CI	OWNER FURNISHED/ CONTRACTOR INSTALLED
OF/OI	OWNER FURNISHED/ OWNER INSTALLED
OPNG	OPENING
OPP	OPPOSITE
ORD	OVERFLOW ROOF DRAIN
PBD	PARTICLE BOARD
PCC	PRECAST CONCRETE
PIC	POST INDICATOR VALVE
PL	PROPERTY LINE
PLAM	PLASTIC LAMINATE
PLAS	PLASTIC
PLBS	PLUMBING
PLF	POUNDS PER LINEAL FOOT
PLYWD	PLYWOOD
PNL	PANEL
PNT	PAINT
PSF	POUNDS PER SQUARE FOOT
PSI	POUNDS PER SQUARE INCH
PT	PRESSURE TREATED
PTD	PAPER TOWEL DISPENSER
PTN	PARTITION
QT	QUARRY TILE
R	RISER, RADIUS
RA	RETURN AIR
RB	RUBBER BASE
RD	ROOF DRAIN
RDG INS	RIGID INSULATION
REF	REFRIGERATOR
REV	REVISION, REVISED
ROOM	ROOM
RO	ROUGH OPENING
ROW	RIGHT OF WAY
RWC	RAINWATER CONDUCTOR
RWL	RAINWATER LEADER
S	SOUTH
SA	SUPPLY AIR
SCND	SOLID CORE WOOD DOOR
SF	SQUARE FEET
SGD	SLIDING GLASS DOOR
SHT	SHEET
SHWR	SHOWER
SIM	SIMILAR
SPEC	SPECIFICATION
SPF	SPRAY FOAM INSULATION
SQ	SQUARE
SST	STAINLESS STEEL
SUSP	SUSPENDED
SV	SHEET VINYL
T	TREAD
TB	TOWEL BAR
THK	THICKNESS
TO	TOP OF
TPD	TOILET PAPER DISPENSER
TR	TOWEL RING
TUB	BATHTUB
TYP	TYPICAL
UGND	UNDERGROUND
UNO	UNLESS NOTED OTHERWISE
UR	URINAL
VCT	VINYL COMPOSITION TILE
VERT	VERTICAL
VG	VERTICAL GRAIN
W	WEST, WIDE,
WC	WATER CLOSET
WD	WOOD
WDW	WINDOW
WH	WATER HEATER
WP	WATERPROOF,
WRB	WEATHERPROOF
WRSCT	WATER RESISTIVE BARRIER
WFCOT	WAINSCOT
WFF	WELDED WIRE FABRIC
WWM	WELDED WIRE MESH
XFER	TRANSFER
XFMR	TRANSFORMER

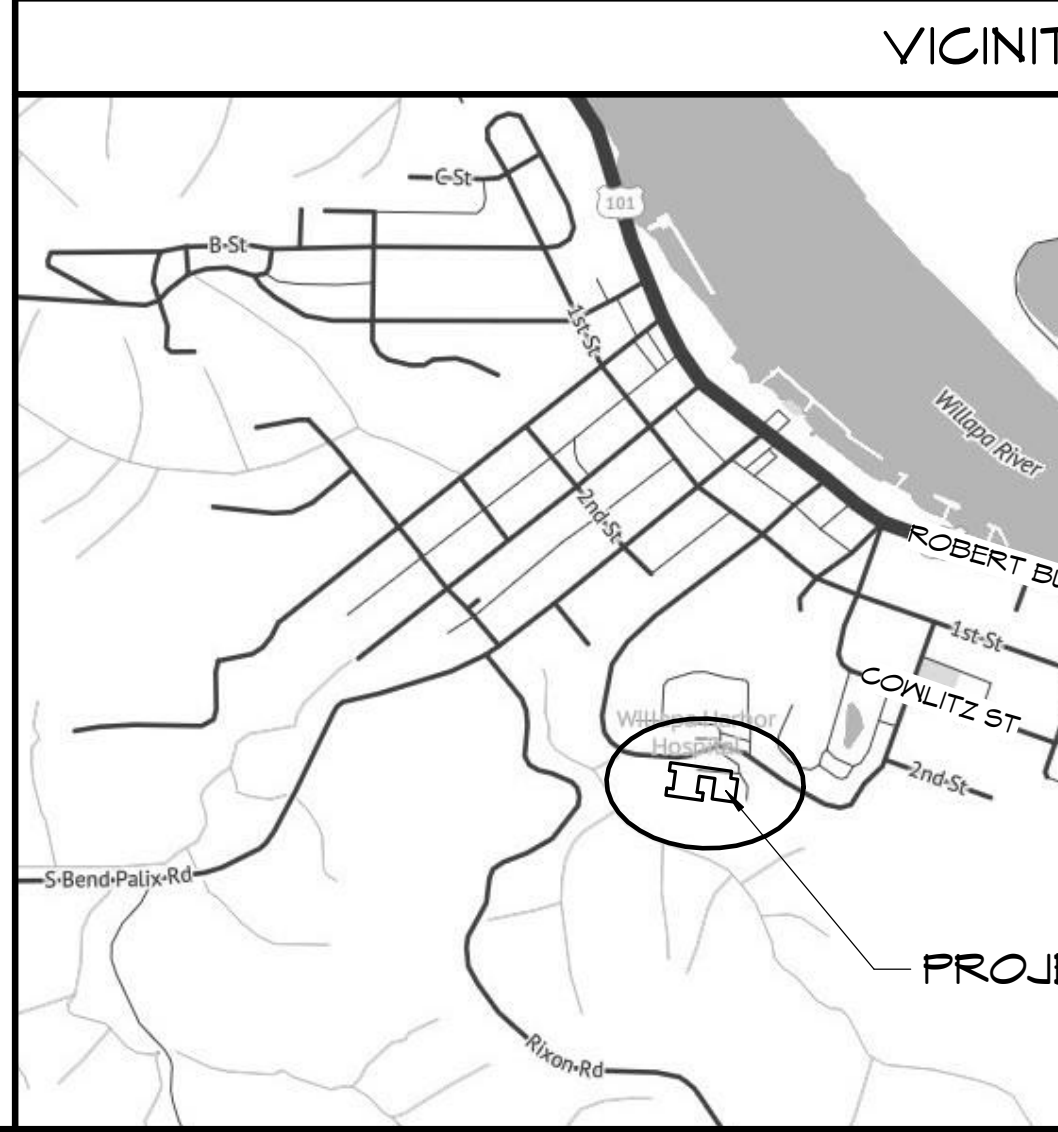
SYMBOLS	
THE FOLLOWING SYMBOLS IDENTIFY TYPICAL CONDITIONS & ELEMENTS & ARE APPLICABLE ONLY IF UTILIZED IN THE DOCUMENTS.	
	WORKING POINT OR REFERENCE ELEVATION
	REVISION INDICATION
	TEST BORING
	SPOT ELEVATION
	EXISTING CONTOURS
	NEW CONTOURS
	PROPERTY CORNER
	PROPERTY LINE OR BOUNDARY LINE
	CENTER OR GRID LINE
	HIDDEN FEATURE OR RELATIONSHIP
	DOOR TAG
	WINDOW TAG
	WALL TYPE IDENTIFIER
	ROOM NAME
	ROOM TAG
	ROOM NUMBER
	ROOM AREA
	LEVEL NAME
	LEVEL INDICATOR
	LEVEL HEIGHT
	DETAIL NUMBER
	DETAIL INDICATOR
	SECTION NUMBER
	BUILDING SECTION INDICATOR
	DRAWING NUMBER WHERE SECTION IS DRAWN
	EARTH
	WOOD BLOCKING
	CONTINUOUS WOOD FRAMING
	FINISH LUMBER FOR ARCHITECTURAL WOODWORKS
	FIBROUS INSULATION
	RIGID BOARD INSULATION
	SPRAY FOAM INSULATION
	LOOSE FILL INSULATION
	EXTERIOR INSULATION & FINISH SYSTEM
	GLASS
	GYPSON BOARD
	METAL STUD WALL
	ACOUSTICAL CEILING TILE
	BREAK LINE
	FIRE HYDRANT
	MANHOLE
	CATCH BASIN
	POWER POLE
	WATERLINE
	GAS LINE
	SANITARY SEWER
	STORM DRAIN
	CLEAN OUT
	KEYED NOTE NUMBER (GENERAL NOTE)
	FLOOR DRAIN
	WINDOW
	BYPASS DOOR
	NEW SWING DOOR & FRAME
	EXISTING SWING DOOR & FRAME

BUILDING PERMIT DATA	
A. PROJECT	ALDER HOUSE 801 ALDER STREET SOUTH BEND, WA 98586
B. ENTITIES	OWNER JOINT PACIFIC COUNTY HOUSING AUTHORITY 820 11TH AVE LONGVIEW, WA 98632 ARCHITECT ZBA ARCHITECTURE, PS 421 W RIVERSIDE SUITE 660 SPOKANE, WA 99201
C. GENERAL PROJECT DESCRIPTION	1. NEW () ADDITION () ALTERATION (X) CHANGE OF USE (X) 2. PARCEL #: 1409321038 3. ZONING: DOWNTOWN AND COMMERCIAL DISTRICT, MULTIFAMILY IS PERMITTED AS A CONDITIONAL USE IN EXISTING STRUCTURES, TYPE 3 REVIEW 4. PARKING: EXISTING 24 STALLS PROPOSED 30 STALLS + 12 OVERFLOW = 42 5. PROPOSED USE: INDEPENDENT SENIOR APARTMENTS 6. NUMBER OF DWELLING UNITS: (24) STUDIOS + (11) 1-BEDROOM = 35 UNITS PROPOSED 7. LAND AREA: 2.35 ACRES

AREAS & UNIT COUNTS			
LOWER LEVEL	7,869 SF		
MAIN LEVEL	16,221 SF		
TOTAL BUILDING AREA	24,090 SF		
UNIT	QTY	SF/EA	TOT SF
STUDIO UNIT	23	318	7,314
STUDIO ACCESSIBLE UNIT	1	524	524
1 BEDROOM UNIT	4	474	1,896
1 BEDROOM ACCESSIBLE UNIT	4	640	2,560
1 BEDROOM TYPE B UNIT	3	474, 548, 601	1,623
TOTAL UNITS	35		13,917

DEFERRED SUBMITTALS		
1. FIRE ALARM MODIFICATIONS	MARCH 2024	
2. FIRE SPRINKLER MODIFICATIONS	MARCH 2024	
3. ELEVATOR MODERNIZATION	MARCH 2024	

FIRE SPRINKLER SYSTEM	
PROVIDE FIRE SPRINKLER SYSTEM MODIFICATIONS AS NEEDED THROUGHOUT BUILDING. SYSTEM SHALL MEET NFPA 13R AND ALL LOCAL AND STATE REQUIREMENTS. PROVIDE ENGINEERED DRAWINGS AS REQUIRED BY GOVERNING AUTHORITIES AND OBTAIN WRITTEN APPROVALS PRIOR TO STARTING WORK.	
COORDINATE LOCATION OF EQUIPMENT, SPRINKLER HEADS AND OTHER ITEMS WITH CONTRACTOR AND SUBCONTRACTORS.	
COORDINATE ANY NECESSARY ELECTRICAL CONNECTIONS WITH ELECTRICAL CONTRACTOR.	
SEE CIVIL DRAWINGS FOR FIRE DEPARTMENT CONNECTIONS AND INDICATOR VALVES.	
ALL UNDERGROUND SPRINKLER LINES WILL BE INSTALLED BY A CERTIFIED, WASHINGTON LICENSED SPRINKLER INSTALLER. THE AUTHORITY HAVING JURISDICTION MUST INSPECT ALL CONNECTIONS OF UNDERGROUND LINES DURING A PRESSURE TEST BEFORE THE LINES ARE BURIED.	



GENERAL NOTES	
1. VERIFY ALL CONDITIONS & DIMENSIONS PRIOR TO STARTING WORK. NOTIFY ARCHITECT OF ANY DISCREPANCIES WITH THE DRAWINGS.	
2. PROVIDE FIRE BLOCKS AND DRAFT STOPS AS PER IBC SECTION 718 AT NEW PARTY WALLS.	
3. ALL GLAZING IN DOORS & WITHIN 24" OF DOORS SHALL BE TEMPERED GLAZING.	
4. PROVIDE FULL, COMPLETE, AND OPERATIONAL ELECTRICAL, PLUMBING, & EXHAUST DUCT SYSTEMS.	
5. ALL EXHAUST FANS, RANGE HOODS & CLOTHES DRYER OUTLET CAPS/LOWERS SHALL BE LOCATED AT LEAST 3 FEET FROM OPERABLE WINDOW SASHES & DOORS.	
6. NEW PENETRATIONS THROUGH OR INTO FIRE RATED WALLS AND CEILING SHALL BE LIMITED TO STEEL OR OTHER APPROVED ELECTRICAL OUTLET BOXES NOT EXCEEDING 16 SQUARE INCHES AND TO NON-COMBUSTIBLE PIPE OR CONDUIT NOT EXCEEDING 4 INCH NOMINAL DIAMETER. THE ANNULAR SPACE BETWEEN A PENETRATING ITEM AND GYP BD SHALL BE FILLED WITH IBC APPROVED FIRESTOPPING. OUTLET BOXES ON OPPOSITE SIDES OF A FIRE RATED WALL SHALL BE SEPARATED BY A HORIZONTAL DISTANCE OF AT LEAST 24 INCHES, OR SHALL HAVE APPROVED RATED INSERTS.	
7. NO NEW DUCTS, WASHER BOXES, WALL HEATERS, OR ITEMS OTHER THAN WIRING AND APPROVED ELECTRICAL BOXES SHALL BE INSTALLED IN PARTY WALLS. WATER PIPING SHALL NOT RUN IN EXTERIOR WALLS OR ATTICS.	
8. WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST LOCALLY ADOPTED EDITION OF THE FOLLOWING CODES & REGULATIONS, IBC, IMC, UPC, IFG, NEC, IECC, AMERICANS WITH DISABILITIES ACT, FEDERAL FAIR HOUSING AMENDMENTS ACT & ANY OTHER APPLICABLE CODE OR REGULATION.	
9. THE DESIGN, ADEQUACY AND SAFETY OF ERECTION BRACING, SHORING, TEMPORARY SUPPORTS ETC., IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND HAS NOT BEEN CONSIDERED BY THE ARCHITECT.	

ALTERNATE BID ITEMS	
SEE PROJECT MANUAL 012300 "ALTERNATE BID ITEMS"	
ABI #01 - MEMBRANE DECK TOPPING	
ABI #02 - ASPHALT PAVING AT WEST PARKING LOT	
ABI #03 - ROADSIDE DRAINAGE SWALE	
ABI #04 - ELEVATOR CAB FINISHES	
ABI #05 - RAILINGS A - WEST BALCONIES AND RAMP B - FRONT ENTRY PORCH C - EAST ENTRANCE RAMP D - COURTYARD BALCONIES AND RAMP	
ABI #06 - REPLACE STRUCTURE AT WEST RAMP	

UNIT PRICES	
SEE PROJECT MANUAL 012200 "UNIT PRICES"	
UNIT PRICE NO. 1: POCKET DOOR REPLACEMENT	
UNIT PRICE NO. 2: SHOWER REPLACEMENT	
UNIT PRICE NO. 3: REFRIGERATOR	
UNIT PRICE NO. 4: PLUMBING STOPS	

ALLOWANCES	
SEE PROJECT MANUAL 012100 "ALLOWANCES"	
ALLOWANCE NO. 1: LANDSCAPE REPAIRS	
ALLOWANCE NO. 2: SELF-LEVELING UNDERLAYMENT	
ALLOWANCE NO. 3: PLYWOOD UNDERLAYMENT	

SHEET INDEX	
GENERAL G101 G102	GENERAL INFORMATION PROJECT INFORMATION
ARCHITECTURAL SITE AC101 AC301	ARCHITECTURAL SITE PLAN SITE DETAILS
CIVIL C001 C100 C101 C200 C200A C201A C300 C400	GENERAL NOTES EROSION & SEDIMENT CONTROL PLAN & DEMOLITION PLAN EROSION & SEDIMENT CONTROL DETAILS GRADING & DRAINAGE PLAN GRADING & DRAINAGE PLAN BID ALTERNATE PAVING PLAN BID ALTERNATE UTILITY PLAN CIVIL DETAILS
ARCHITECTURAL A101 A102 A111 A112 A201 A202 A301 A401 A402 A403 A404 A405 A406 A407 A411 A412 A421 A501 A511 A512 A601	MAIN LEVEL FLOOR PLAN LOWER LEVEL FLOOR PLAN MAIN LEVEL REFLECTED CEILING PLAN LOWER LEVEL REFLECTED CEILING PLAN ROOF PLAN EXTERIOR ELEVATIONS EXTERIOR ELEVATIONS SECTIONS UNIT PLANS UNIT PLANS UNIT PLANS UNIT PLANS ENLARGED PLANS ATRIUM ELEVATIONS UNIT REFLECTED CEILING PLANS ENLARGED STAIR & BALCONY PLANS EXTERIOR DETAILS INTERIOR DETAILS INTERIOR DETAILS SCHEDULES
MECHANICAL M001 M002 M201 M202 M601 M602 M801 M802 M901 M902 P001 P002 P201 P202 P501 P601 P602 P801 P802	MECHANICAL LEGENDS MECHANICAL SCHEDULES I MAIN LEVEL DEMOLITION FLOOR PLAN LOWER LEVEL DEMOLITION PLAN MAIN LEVEL FLOOR PLAN LOWER LEVEL FLOOR PLAN HVAC STUDIO ENLARGED PLANS HVAC ENLARGED PLANS HVAC ROOF PLANS PLUMBING LEGENDS PLUMBING SCHEDULES MAIN LEVEL DEMOLITION PLUMBING FLOOR PLAN LOWER LEVEL DEMOLITION PLUMBING FLOOR PLAN PLUMBING DETAILS MAIN LEVEL PLUMBING FLOOR PLAN LOWER LEVEL PLUMBING FLOOR PLAN PLUMBING STUDIO ENLARGED PLANS PLUMBING ENLARGED PLANS
ELECTRICAL E001 E002 ED101 ED102 E101 E201 E202 E301 E302 E401 E402 E403 E701 E801 E802 E803 E901 E902 E903	LEGENDS AND SCHEDULES LEGENDS AND SCHEDULES MAIN LEVEL DEMOLITION FLOOR PLAN LOWER LEVEL DEMOLITION PLAN SITE PLAN MAIN FLOOR PLAN LOWER LEVEL POWER PLAN MAIN LEVEL FLOOR PLAN - LIGHTING LOWER LEVEL FLOOR PLAN - LIGHTING ELECTRICAL UNIT PLANS ELECTRICAL UNIT PLANS ROOF SOLAR PLAN ONE LINE DIAGRAM ONE LINE DIAGRAM ONE LINE SOLAR ARRAY PANEL SCHEDULES - EXISTING PANEL SCHEDULES - NEW & REVISED PANEL SCHEDULES - NEW & REVISED

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NO.	DATE	BY
1	12/04/2023	SEMB
REVISIONS		

GENERAL INFORMATION

ALDER HOUSE - RENOVATION

SOUTH BEND, WASHINGTON

JOINT PACIFIC COUNTY HOUSING AUTHORITY

SHEET TITLE

PROJECT TITLE

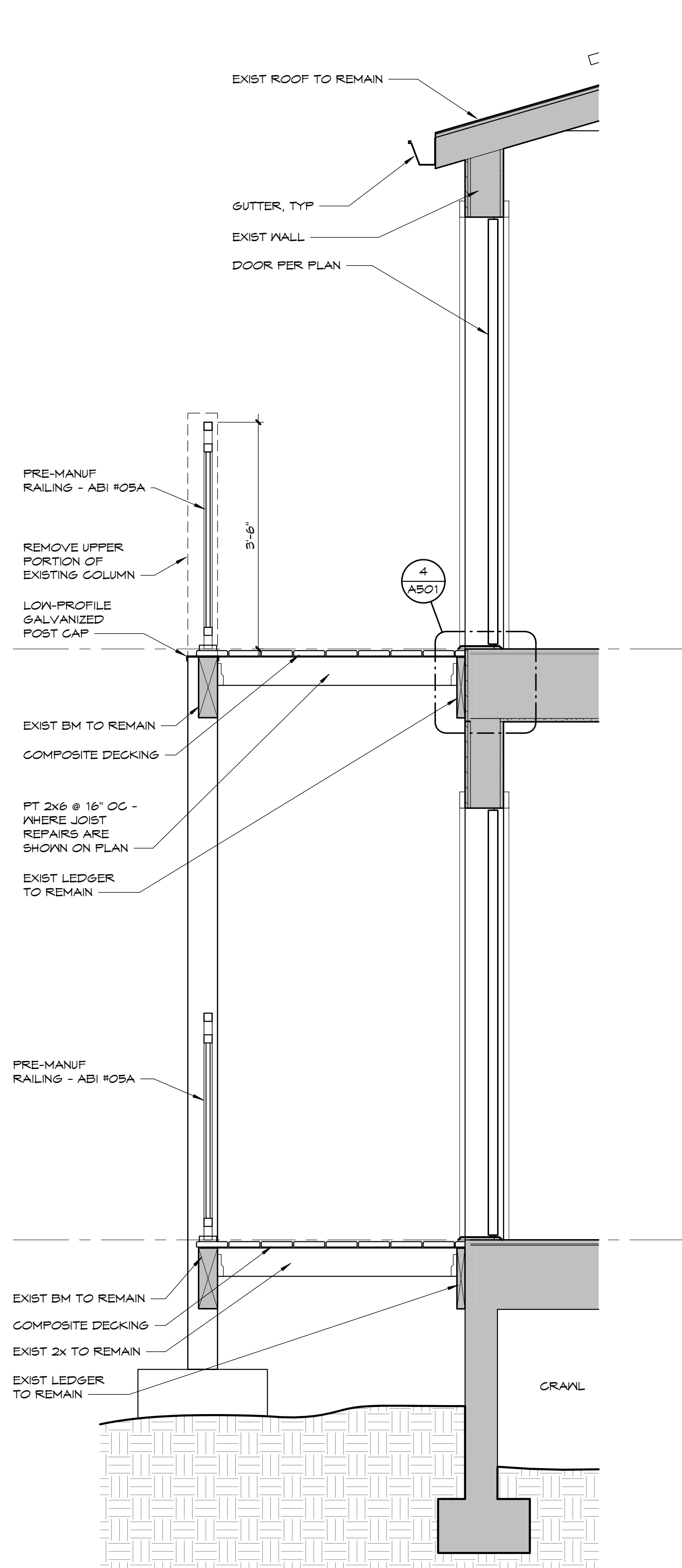
9584 REGISTERED ARCHITECT

Randall Scott Vanhoff

RANDALL SCOTT VANHOFF
STATE OF WASHINGTON

12/4/23

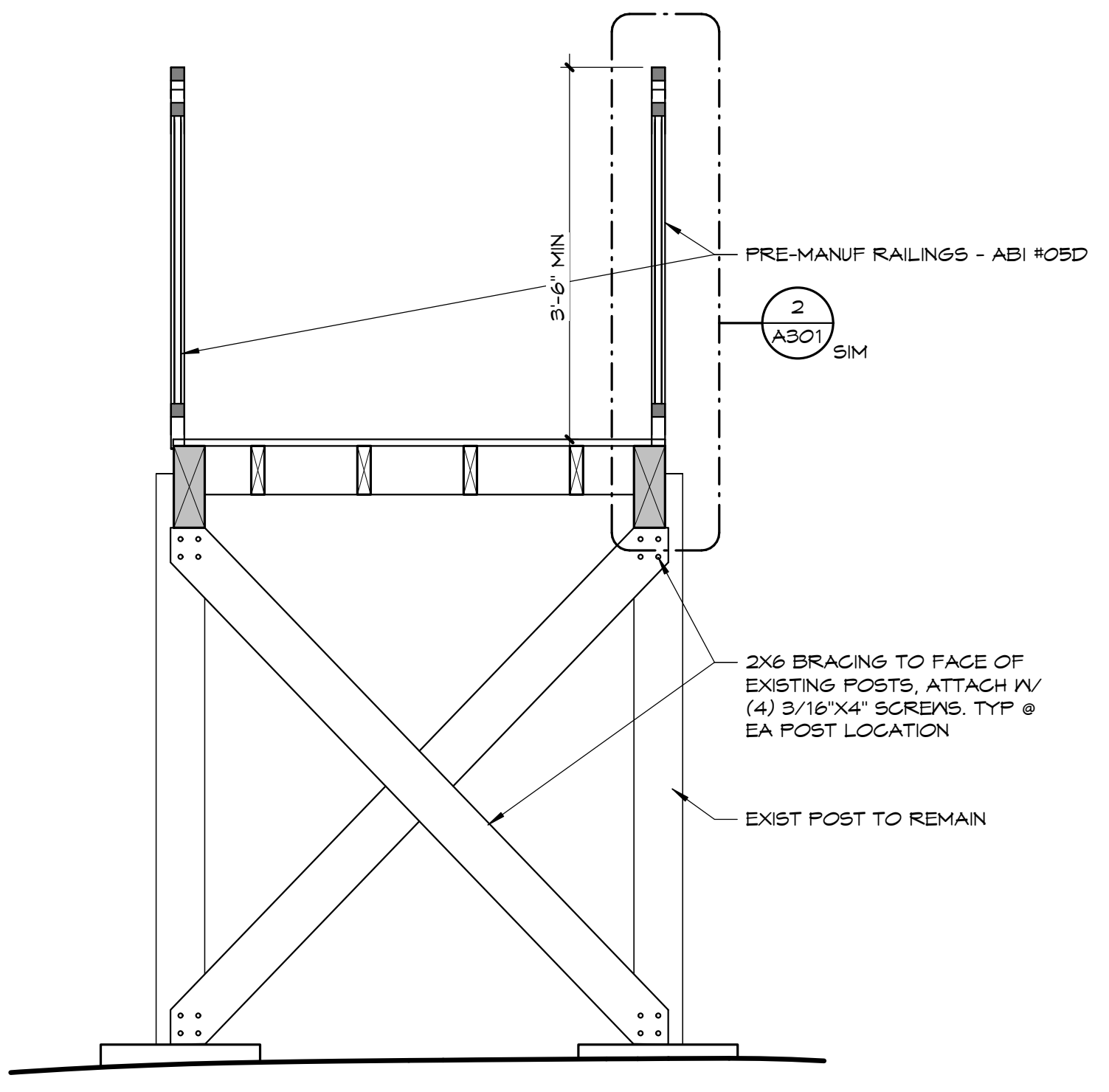
PROJECT NO.	2236
DRAWN	NPL
CHECKED	SEMB
DATE	10/20/2023
DRAWING NO.	G101



2 BALCONY SECTION
3/4" = 1'-0"

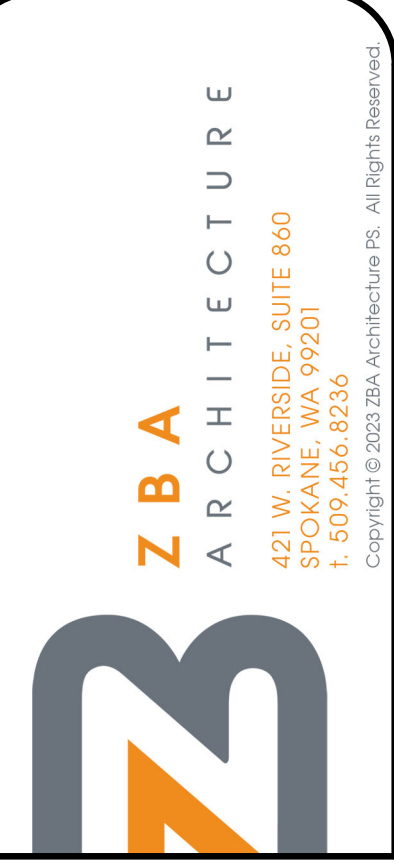


1 BUILDING SECTION
1/8" = 1'-0"



3 ELEVATED WALKWAY SECTION
3/4" = 1'-0"

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NO.	DATE	BY
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SECTIONS

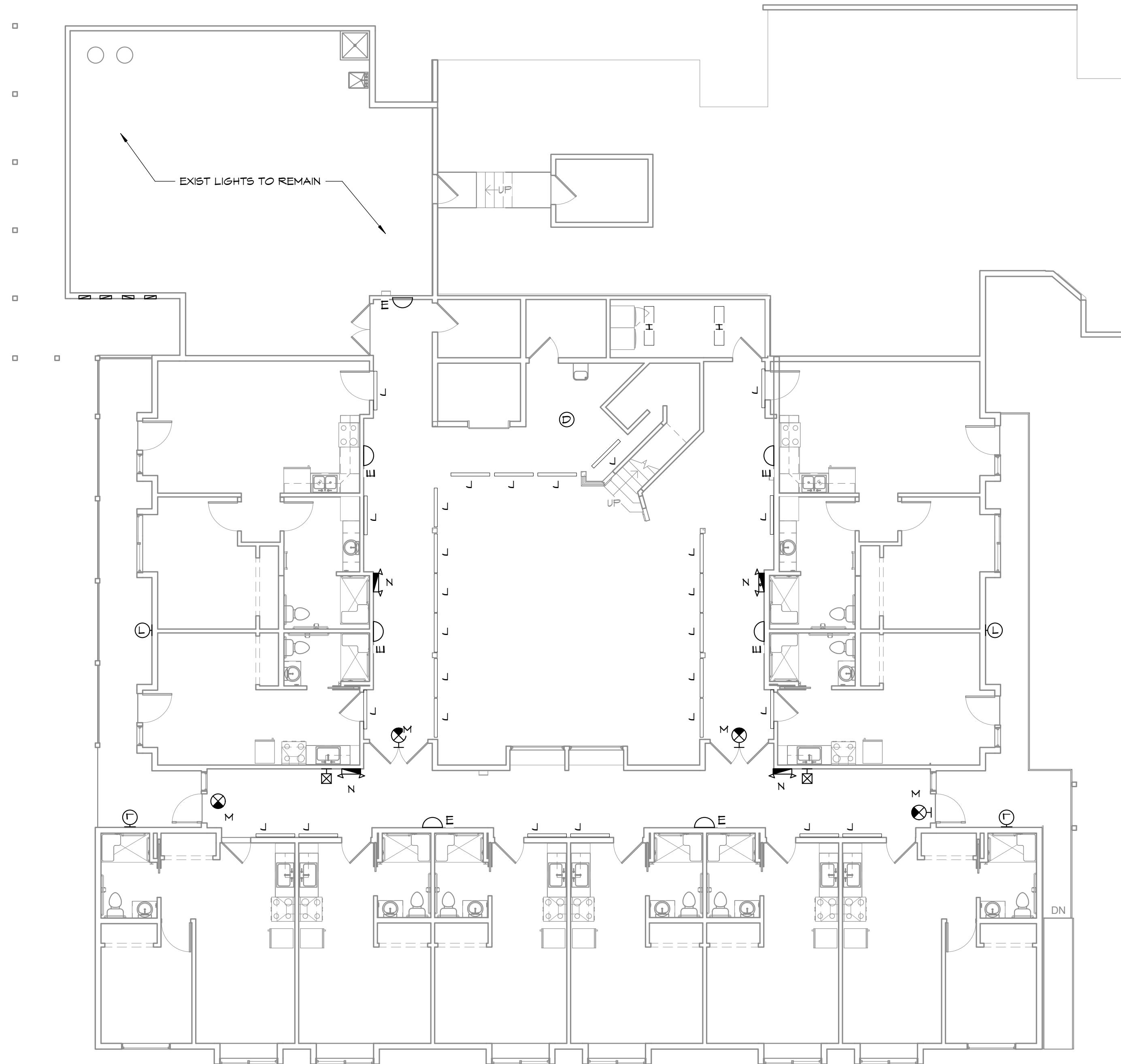
ALDER HOUSE - RENOVATION
SOUTH BEND, WASHINGTON
JOINT PACIFIC COUNTY HOUSING AUTHORITY

9584 REGISTERED ARCHITECT
Randall Scot Vanhoff
RANDALL SCOT VANHOFF
STATE OF WASHINGTON
12/4/23

PROJECT NO. 2236
DRAWN: NPL
CHECKED: SEMB
DATE: 10/20/2023
DRAWING NO.

A301

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LOWER LEVEL - LIGHTING PLAN
1/8" = 1'-0"

INTERIOR LIGHTING FIXTURE SCHEDULE							
SYMBOL	MFR	PRODUCT NUMBER	LAMP TYPE*	LUMENS	FIXTURE WATTAGE	LOCATION	REMARKS
A	SATCO I NUVO	62-1928	LED	1820	26W	VANITY	24" BRUSHED NICKEL
B	AFX	QTVF1425LAJD1BA	LED	2500	33W	UNIT- KITCHEN, LIVING ROOM, BEDROOM	14" BRUSHED ALUMINUM
D	AFX	E6RF0809L30D19N	LED	900	12W	UNITS, COMMON SPACES	5 3/8" SATIN NICKEL
E	LITHONIA LIGHTING	DLSD5 BN - SABLED	LED	720	11.2W	CORRIDOR	SCONCE DIFFUSER, BRUSHED NICKEL W/ BACKPLATE
F	AFX	SLL12483200L30D19N	LED	3200	39W	UNIT- KITCHEN	50" SATIN NICKEL
G	LITHONIA LIGHTING	CPX 2X4 ALOS SWMT M2	LED	5343	50W	OFFICES	2X4 LED PANEL
H	LITHONIA LIGHTING	CPX 1X4 ALOT SWMT M4	LED			CORRIDOR, OFFICE, LAUNDRY, UTILITY	1X4 LED PANEL
J	LITHONIA LIGHTING	CSS-4K8-2-1/8-1/8-UNV-DBT-T	LED	4248	35.5 W	CORRIDOR	4" LED STRIP, WALL MOUNTED
K	AFX	ANP1932LAJDSN-LN	LED	2807	25W	COMMUNITY KITCHEN	19" SATIN NICKEL
L	LUMINAIRE	SWOOP SWP610 YNP MIN10 30K 120V OP BLK CAB PC	LED	-	5W	EXTERIOR FLOOD LIGHT	
M	LITHONIA LIGHTING	LQMSWBR 120/2TT ELNM6	LED	-	.71W	EXIT SIGNS IN CORRIDOR	RED EXIT WITH BACKUP BATTERY, WHITE
N	LITHONIA LIGHTING	EU2CM6	LED	-	.56W	EMERGENCY LIGHTING IN CORRIDOR	

ELEC NOTES

- ALL WORK TO CONFORM TO LATEST EDITION OF THE N.E.C.
- NEW RECEPTACLES, TV OUTLETS, TELEPHONE OUTLETS, ETC. SHALL BE INSTALLED 18" ABOVE FLOOR TO DEVICE BOTTOM, UNLESS NOTED OTHERWISE. LIGHT SWITCHES, PTAC CONTROLS, THERMOSTATS, ETC. SHALL BE NO HIGHER THAN 48" TO TOP.
- PROVIDE SMOKE DETECTORS WHERE SHOWN ON PLANS, INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. DETECTORS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH BATTERY BACKUP. DETECTOR SHALL EMIT A SIGNAL WHEN BATTERIES ARE LOW. WIRING SHALL BE PERMANENT AND WITHOUT A DISCONNECTING SWITCH OTHER THAN THOSE REQUIRED FOR OVER CURRENT PROTECTION. INSTALL VISUAL STROBE DEVICES AT ALL TYPE 'A' UNITS. PROVIDE 2 ADDITIONAL SMOKE DETECTORS WITH STROBE LIGHT TO OWNER.
- ALL FIXTURES SHALL BE ENERGY STAR RATED. ALL LEDS SHALL BE 3000K IN COLOR TEMPERATURE.
- SEE MECHANICAL FOR BATHROOM EXHAUST, THERMOSTATS, COVE HEATERS, ETC.
- PLANS ARE DIAGRAMMATIC ONLY. FOR NEW EQUIPMENT, CENTER LIGHTS IN ROOMS, GANG SWITCHES, AND ADJUST DEVICES AS NEED TO MATCH STUD SPACING.
- ALL SWITCHES AND OUTLETS IN RESIDENTIAL UNITS SHALL BE REPLACED, UNO.
- FOR FIXTURES, SWITCHES OR OUTLETS THAT ARE BEING RELOCATED, UNLESS NOTED OTHERWISE, THE CONTRACTOR SHALL HAVE THE OPTION OF EXTENDING THE CIRCUIT THROUGH A NEW JUNCTION BOX OR REPLACING THE CIRCUIT COMPLETELY.

ELEC SYMBOLS

- LIGHT FIXTURE
- SMOKE DETECTOR/CARBON MONOXIDE DETECTOR
- WALL MOUNT LIGHT FIXTURE
- EXHAUST FAN
- HEAT/LIGHT/FAN OR HEAT/LIGHT
- RANGE HOOD CONNECTION
- SWITCH
- 3-WAY SWITCH (OR 4-WAY WHERE NOTED)
- FAN/LIGHT SWITCH WITH OFF DELAY
- PHOTO CELL
- STANDARD RECEPTACLE
- RANGE RECEPTACLE
- RECEPTACLE WITH TOP HALF SWITCHED
- AIR CONDITIONER OR DRYER RECEPTACLE
- GROUND FAULT INTERRUPTER RECEPTACLE
- WEATHER PROOF GFI RECEPTACLE
- CABLE TELEVISION OUTLET
- CABLE TELEVISION OUTLET-RELOCATED
- JUNCTION BOX OR DISCONNECT SWITCH AS REQUIRED FOR EQUIPMENT (VERIFY)
- WALL MOUNTED LIGHT
- TELEPHONE / DATA
- FULL CORD STATION
- FULL CORD & INTERCOM STATION
- FIRE ALARM

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REVISIONS		

LOWER LEVEL FLOOR PLAN - LIGHTING

ALDER HOUSE - RENOVATION
SOUTH BEND, WASHINGTON
JOINT PACIFIC COUNTY HOUSING AUTHORITY

REGISTERED ARCHITECT
Randall Scot Vanhoff
RANDALL SCOT VANHOFF
STATE OF WASHINGTON
12/4/23

PROJECT NO.	2236
DRAWN:	NPL
CHECKED:	SEMB
DATE:	10/20/2023

DRAWING NO. **E302**

FINISH LEGEND

ITEM CODE	PRODUCT/COLOR NAME & NUMBER	NOTES
069316	FIBERGLASS REINFORCED PANELING	
FRP-1	CRANE COMPOSITES	WALL PROTECTION AT LAUNDRY
096500 RESILIENT FLOORING & BASE		
LVP-1	SHAW CONTRACT; TERRAIN II 12 MIL 6"X48" GROVE	LUXURY VINYL PLANK FLOORING AT UNITS
LVP-2	SHAW CONTRACT; TERRAIN II 12 MIL 6"X48" ECHO	LUXURY VINYL PLANK FLOORING AT COMMON AREAS
RB-1	TARKETT; 4" PERCEPTIONS WALL BASE, RECESS, NEUTRALITY 107	WALL BASE AT LUXURY VINYL PLANK, SHEET VINYL, 4 ENTRY MAT
RB-2	TARKETT; 4" PERCEPTIONS WALL BASE, RECESS, COLONIAL GRAY TAS	WALL BASE AT CARPET
STAIR-1	TARKETT; STAIR NOSING, RCN-XX-B, COLONIAL GRAY TAS	
SV-1	MANNINGTON; MEANDER, SHADE	SHEET VINYL AT NEW BATHS
096800 CARPET		
CPT-1	MANNINGTON; FOAM 12"X36", CRISP	CARPET AT ATRIUM & STAIRS
EM-1	TARKETT; ASSERTIVE STRIA 24"X24", STEELWORK	ENTRY MAT
099100 INTERIOR PAINTING		
PNT-1	SHERWIN WILLIAMS; SMT103 WHITETAIL	GENERAL WALL/CEILING PAINT
PNT-2	SHERWIN WILLIAMS; SMT547 SANDBAR	DOOR/TRIM PAINT
PNT-3	SHERWIN WILLIAMS; SMO031 DUTCH TILE BLUE	ACCENT PAINT
PNT-4	SHERWIN WILLIAMS; SMT126 LEMON VERBENA	ACCENT PAINT
129530 RESIDENTIAL CABINETS		
CAB-1	SMART CABINETRY	COMMUNITY KITCHEN CABINETRY
129623 PLASTIC LAMINATE CLAD COUNTERTOPS		
FLAM-1	FORMICA; PERLATO GRANITE 9522-28, MATTE	COUNTERTOPS THROUGHOUT
FLAM-2	FORMICA; MATTE FINISH	WALL PROTECTION AT RESTROOM

DOOR SCHEDULE - COMMON AREAS

MARK	DIMENSIONS			DOOR				FRAME		HDM GROUP	FIRE RATING	NOTES
	W	HT	THK	TYPE	MAT'L	FIN	MAT'L	FIN				
25A	5'-4"	6'-8"	1 3/8"	A	WD	(E)	WD	(E)	6			
25B	3'-0"	6'-8"	1 3/8"	A	WD	(E)	WD	(E)	6			
25C	3'-0"	6'-8"	1 3/8"	A	WD	(E)	WD	(E)	6			
66	3'-0"	6'-8"	1 3/8"	A	WD	(E)	WD	(E)	6			
68	3'-0"	6'-8"	1 3/8"	A	WD	(E)	WD	(E)	7			
69	3'-0"	6'-8"	1 3/8"	A	WD	PNT	WD	PNT	8			
10A	6'-0"	6'-8"	1 3/8"	A	WD	(E)	WD	(E)	6		NO WORK	
10B	6'-0"	6'-8"	1 3/8"	A	WD	(E)	WD	(E)	6		NO WORK	
11A	3'-0"	6'-8"	1 3/4"	B	FRP	PNT	WD	PNT	9			
11B	3'-0"	6'-8"	1 3/4"	B	FRP	PNT	WD	PNT	9			
150A	6'-0"	6'-8"	1 3/8"	A	WD	(E)	WD	(E)	6		NO WORK	
150B	6'-0"	6'-8"	1 3/4"	C	FRP	PNT	WD	PNT	8		RE-KEY FOR MASTER	
150C	3'-0"	6'-8"	1 3/4"	B	FRP	PNT	WD	PNT	8			
151A	6'-0"	6'-8"	1 3/8"	A	WD	(E)	WD	(E)	6		NO WORK	
151B	3'-0"	6'-8"	1 3/4"	B	FRP	PNT	WD	PNT	8			
152	3'-0"	6'-8"	1 3/8"	A	WD	PNT	WD	PNT	10		20 MIN	
153	3'-0"	6'-8"	1 3/8"	A	WD	PNT	WD	PNT	7			
154	3'-0"	6'-8"	1 3/8"	A	WD	PNT	WD	PNT	7			
155	3'-0"	6'-8"	1 3/8"	A	WD	PNT	WD	PNT	6			
156	3'-0"	6'-8"	1 3/4"	B	FRP	PNT	WD	PNT	11			
157	3'-0"	6'-8"	1 3/4"	B	FRP	PNT	WD	PNT	9			
160	3'-0"	6'-8"	1 3/8"	A	WD	PNT	WD	PNT	7			
161	3'-0"	6'-8"	1 3/8"	A	WD	PNT	WD	PNT	6			
162	3'-0"	6'-8"	1 3/8"	A	WD	(E)	WD	(E)	12			
163	3'-0"	6'-8"	1 3/8"	A	WD	(E)	WD	(E)	6			
164	3'-0"	6'-8"	1 3/8"	A	WD	(E)	WD	(E)	8			
165	3'-0"	6'-8"	1 3/8"	A	WD	PNT	WD	PNT	13			
166A	3'-0"	6'-8"	1 3/8"	B	WD	PNT	WD	PNT	14		20 MIN	
166B	3'-0"	6'-8"	1 3/8"	B	WD	PNT	WD	PNT	14		20 MIN	
168	3'-0"	6'-8"	1 3/4"	B	FRP	PNT	WD	PNT	9			
169A	6'-0"	6'-8"	1 3/8"	A	WD	(E)	WD	(E)	6		NO WORK	
169B	6'-0"	6'-8"	1 3/8"	A	WD	(E)	WD	(E)	6		NO WORK	
169C	6'-0"	6'-8"	1 3/8"	A	WD	(E)	WD	(E)	6		NO WORK	
171A	3'-0"	6'-8"	1 3/4"	B	FRP	PNT	WD	PNT	9			
171B	3'-0"	6'-8"	1 3/4"	B	FRP	PNT	WD	PNT	9			
172A	6'-0"	6'-8"	1 3/8"	A	WD	(E)	WD	(E)	6		NO WORK	
172B	6'-0"	6'-8"	1 3/8"	A	WD	(E)	WD	(E)	6		NO WORK	

(E) - EXISTING TO REMAIN

ROOM FINISH SCHEDULE

ROOM #	ROOM NAME	FLR	BASE	WALL				CLNG	NOTES
				NORTH	EAST	SOUTH	WEST		
025	MECHANICAL/MAINTENANCE	-	-	-	-	-	-	-	NO WORK - EXIST TO REMAIN
066	ELEV EQUIP	-	-	-	-	-	-	-	NO WORK - EXIST TO REMAIN
067	ELEVATOR	-	-	-	-	-	-	-	NO WORK - EXIST TO REMAIN
068	BATH	-	-	-	-	-	-	-	NO WORK - EXIST TO REMAIN
069	LAUNDRY	-	SV-1	RB-1	PNT-1	PNT-1	PNT-1	PNT-1	
070	ACTIVITY AREA	-	CPT-1	RB-1	PNT-1	PNT-1	PNT-1	PNT-3	
071	CORRIDOR	-	EM-1/LVP-2*	RB-1	PNT-1	PNT-1	PNT-1	PNT-1	*SEE FLOOR PLANS
150	CORRIDOR	-	EM-1/LVP-2*	RB-1	PNT-1	PNT-1	PNT-1	PNT-1	*SEE FLOOR PLANS
151	CORRIDOR	-	LVP-2	RB-1	PNT-1	PNT-1	PNT-1	PNT-1	
152	OFFICE	-	LVP-1	RB-1	PNT-1	PNT-1	PNT-1	PNT-1	
153	OFFICE	-	LVP-1	RB-1	PNT-1	PNT-1	PNT-1	PNT-1	
154	REST.	-	-	-	-	-	-	-	NO WORK - EXIST TO REMAIN
155	JAN.	-	-	-	-	-	-	-	NO WORK - EXIST TO REMAIN
156	CORRIDOR	-	LVP-2	RB-1	PNT-1	PNT-1	PNT-1	PNT-1	
157	CORRIDOR	-	EM-1/LVP-2*	RB-1	PNT-1	PNT-1	PNT-1	PNT-1	*SEE FLOOR PLANS
158	EXTERIOR COURT	-	-	-	-	-	-	-	NO WORK - EXIST TO REMAIN
159	RECEPT.	-	LVP-2	RB-1	PNT-1	PNT-1	PNT-1	PNT-1	
160	OFFICE	-	LVP-1	RB-1	PNT-1	PNT-1	PNT-1	PNT-1	
161	STORAGE	-	-	-	-	-	-	-	NO WORK - EXIST TO REMAIN
162	REST.	-	SV-1	RB-1	PNT-1/PLAM-2*	PNT-1	PNT-1	PNT-1/PLAM-2*	*SEE INTERIOR ELEVATIONS
163	STORAGE	-	-	-	-	-	-	-	NO WORK - EXIST TO REMAIN
164	LAUNDRY	-	SV-1	RB-1	PNT-1/FRP-1*	PNT-1/FRP-1*	PNT-1/FRP-1*	PNT-1/FRP-1*	*SEE INTERIOR ELEVATIONS
165	CORRIDOR	-	LVP-2	RB-1	PNT-1	PNT-1	PNT-1	PNT-1	
166	COMMUNITY KITCHEN	-	LVP-2	RB-1	PNT-1	PNT-1	PNT-1	PNT-1	
167	ELEVATOR	-	-	-	-	-	-	-	NO WORK - EXIST TO REMAIN
168	CORRIDOR	-	LVP-2	RB-1	PNT-1	PNT-1	PNT-1	PNT-1	
169	CORRIDOR	-	LVP-2	RB-1	PNT-1	PNT-1	PNT-1	PNT-1	
171	CORRIDOR	-	LVP-2	RB-1	PNT-1	PNT-1	PNT-1	PNT-1	
172	CORRIDOR	-	LVP-2	RB-1	PNT-1	PNT-1	PNT-1	PNT-1	

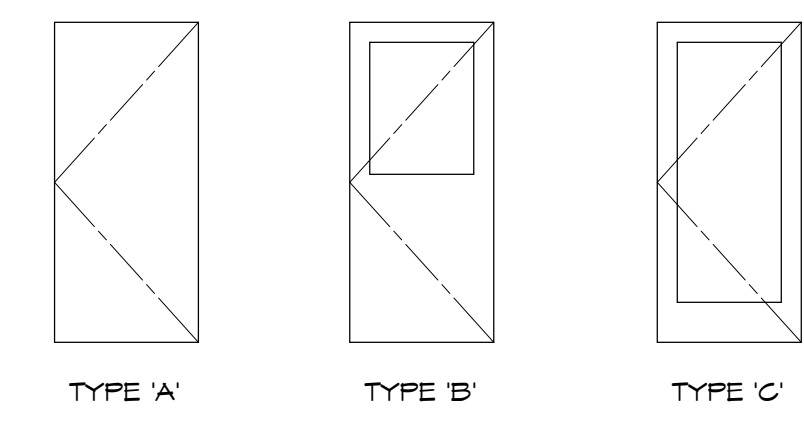
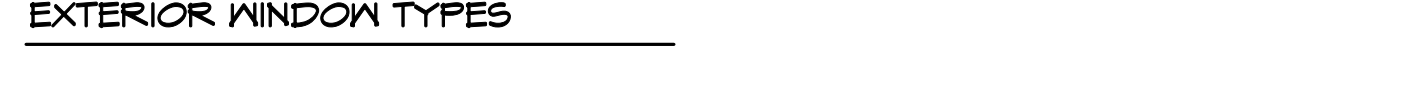
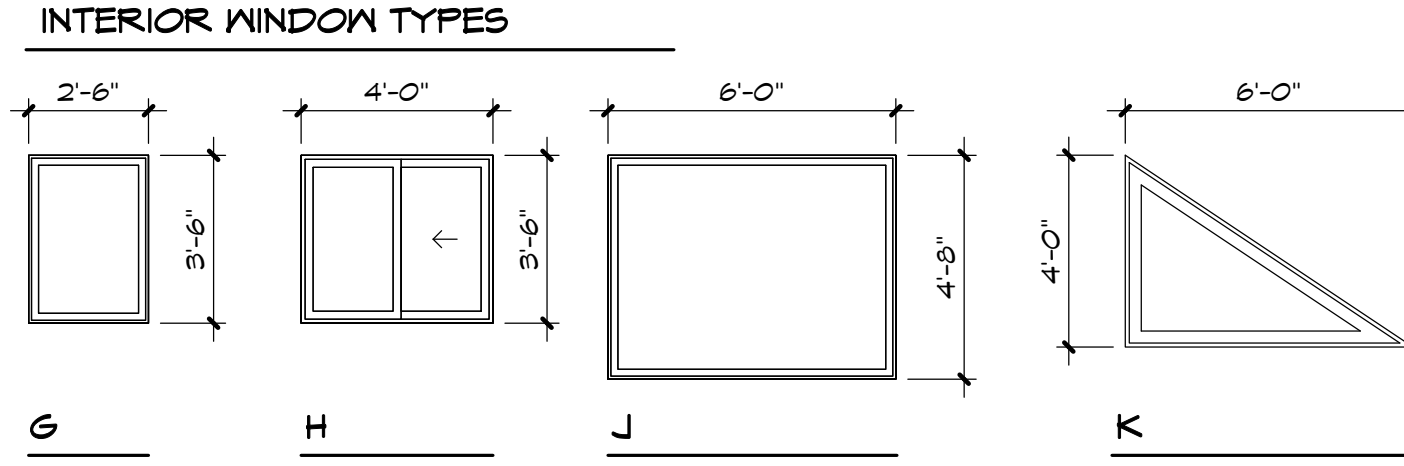
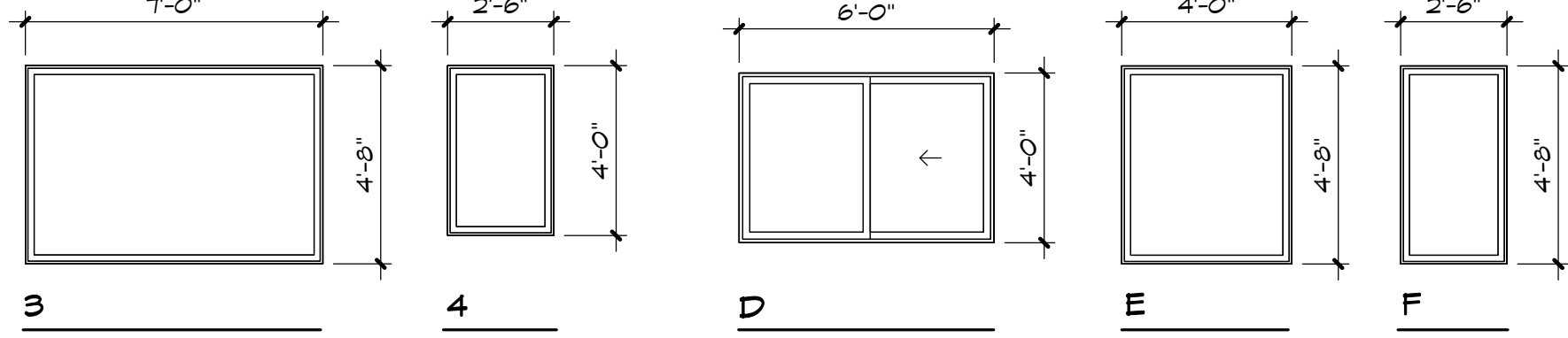
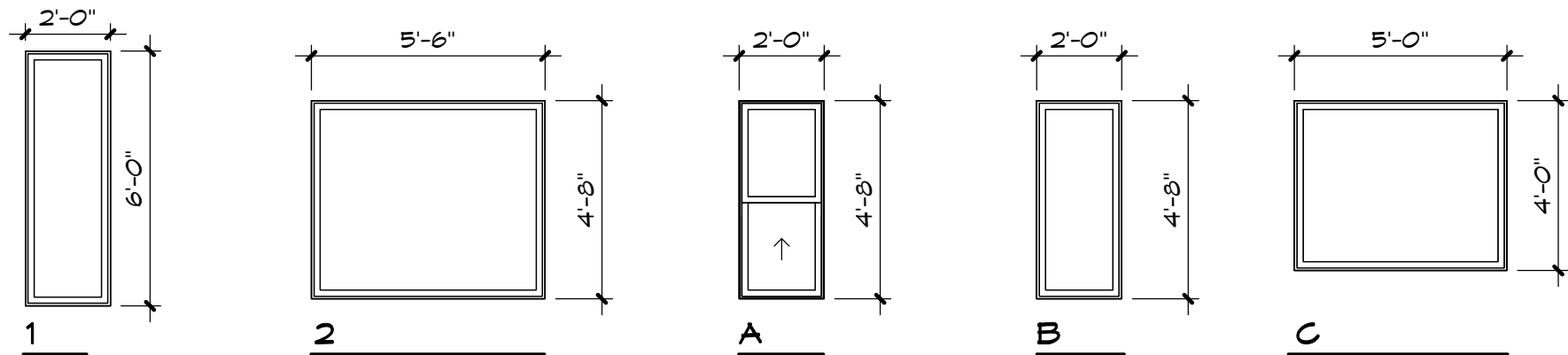
UNIT FINISH SCHEDULE

ROOM	FLOOR MAT'L	BASE MAT'L	WALL		CEILING	
			MAT'L	FINISH	MAT'L	FIN
KITCHEN	LVP-1	RB-1	PNT	PNT-1	PNT	PNT-1
LIVING/DINING	LVP-1	RB-1	PNT	PNT-1	PNT	PNT-1
BATH	LVP-1/SV-1*	RB-1	PNT	PNT-1	PNT	PNT-1
BEDROOM	LVP-1	RB-1	PNT	PNT-1	PNT	PNT-1

*LVP AT EXIST BATHS, SV-1 AT NEW/RECONFIG BATHS

UNIT DOOR SCHEDULE

TYPE	DIMENSIONS			DOOR		FRAME		FIRE RATING	HDM GROUP	NOTES
	WIDTH	HEIGHT	THICKNESS	MAT'L	FIN	MAT'L	FIN			
A	3'-0"	6'-8"	1 3/8"	WD	PNT	WD	PNT	20 MIN	1	
B	3'-0"	6'-8"	1 3/4"	FRP	PNT	WD	PNT		2	WITH SCREEN DOOR
C	3'-0"	6'-8"	1 3/8"	WD	PNT	WD	PNT		4	
D	3'-0"	6'-8"	1 3/8"	WD	PNT	WD	PNT	(E)	3	EXIST DOOR TO REMAIN, NEW HDWR
E	3'-0"	6'-8"	1 3/8"	WD	PNT	WD	PNT		5	



DOOR TYPES
N.T.S.

WINDOW TYPES
N.T.S.

Z B A ARCHITECTURE
 421 W. RIVERSIDE, SUITE 860
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NO.	DATE	BY	REVISIONS
1	12/04/2023	SEMB	

SCHEDULES


ALDER HOUSE - RENOVATION
 SOUTH BEND, WASHINGTON
 JOINT PACIFIC COUNTY HOUSING AUTHORITY

9584 REGISTERED ARCHITECT

 RANDALL SCOT VANHOFF
 STATE OF WASHINGTON
 12/4/23

PROJECT NO.	2236
DRAWN:	NPL
CHECKED:	SEMB
DATE:	10/20/2023
DRAWING NO.	

A601



CEB3-CS-F / CSB3-CS-F
CONSTANT EXHAUST/SUPPLY BOX

AIRFLOW & ZONE CONTROL **IOM**

Made in USA | WARRANTY 7 YEARS | Patent pending

READ AND SAVE THESE INSTRUCTIONS

Description

Aldes Constant Exhaust and Supply Boxes with integral ceiling radiation damper and constant airflow regulator are designed to provide a complete terminal package that is self-balancing and meets code requirements for applications requiring ceiling radiation dampers. Both Supply and Exhaust models are available with and without grilles. The optional constant airflow regulator is designed to provide a constant airflow rate within a pressure range of 0.12 to 1.2 in. w.g.

Warning

- Use this unit only in the manner intended by the manufacturer. If you have any questions, contact the manufacturer.
- Sufficient air is needed for proper combustion and exhausting of gases through the flue (chimney) of fuel-burning equipment to prevent backdrafting. Follow the heating equipment manufacturer's guidelines and safety standards, such as those published by the National Fire Protection Association (NFPA), and the American Society of Heating, Refrigerating and Air-Conditioning Engineers (ASHRAE), and the local code authorities.
- In addition to the following manufacturer's instructions, it is necessary to comply with federal, state, and local government codes.
- Installation work must be done by qualified person(s) in accordance with all applicable codes and standards, including fire-rated construction.
- When cutting or drilling into wall or ceiling, do not damage electrical wiring and hidden utilities.
- Protect interior of assembly from wall/ceiling texturing and painting overspray.

Inspect the carton upon receipt to ensure the unit has not been damaged in transit. If damaged, it is the responsibility of the recipient to file a damage claim with the carrier. ALDES is not responsible for damage incurred during shipment.

Handle the unit with care to prevent damage to the housing and other components. Store the unit indoors if possible. If outdoor storage is required, protection against moisture and dirt is necessary.

System Design

Satisfactory performance of a central ventilation system requires:

- Proper integration of all the components, compatible grilles, and wall/roof caps;
- Proper duct design for friction losses;
- Consideration of acoustic and vibration properties of the fan and its mounting;
- Consideration of acoustic properties of the grilles;
- Consideration of the mode of operation, whether continuous or automatically controlled by dehumidistat, timer, or occupancy sensor;
- Installation in a heated or unheated space, with consideration for the potential of condensation in the ducting or fan housing.

Maintenance

- The CAR3 needs no maintenance when used in normal conditions. There is no risk of dust deposit or obstruction because the CAR3 has no airways subject to clogging. If the intended application includes air heavily loaded with grease or dust, periodic cleaning may be required.

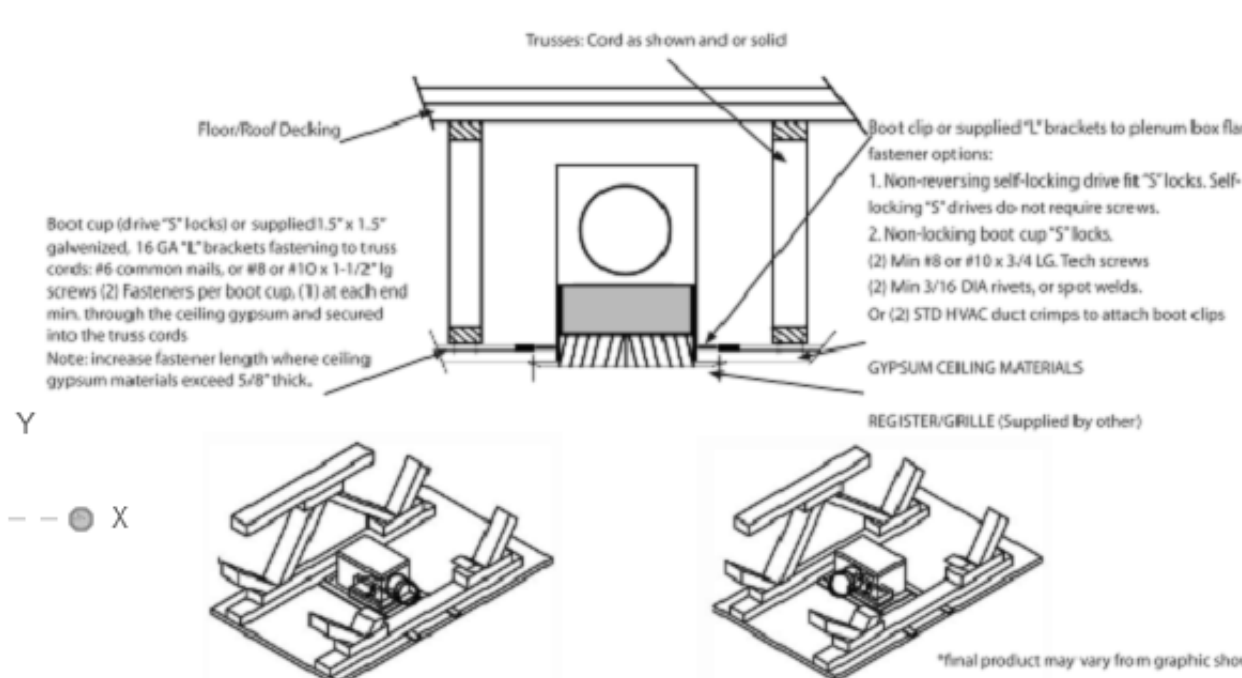
Warranty

Guaranteed for 7 years, from date of shipment, against all defects in material or workmanship, provided that the material has been installed and used under normal conditions. This warranty is limited to the repair or replacement of the material.

Page 2 | CEB3-CS-F / CSB3-CS-F IOM

FOR REGISTER/GRILLE AND DUCTED APPLICATIONS

3 HOUR RATED ASSEMBLIES FOR USE IN FLOOR/CEILING, ROOF/CEILING, TRUSS/GYPSUM CONSTRUCTION
UL DESIGN L-963, L-585, P-544, P-547



Notes: SIDE OUTLET THRU TRUSS CORD
1. Measure the actual truss centers and add approx. 6" to determine boot clip lengths. (2) required per box

1. Drive (2) Self Locking "S" Boot Clips to the plenum box flange centering the plenum box as required. Where required to insure permanent attachment, fasten boot clips to the plenum box using the fasteners listed below.

Note: When Non-Drive boot clips or supplied 1.5" x 1.5" galvanized, 16 gauge "L" brackets are used, fasten boot clips to the plenum box flange using a minimum of (2) #8 or #10 x 3/4 Lg sheet metal screws, (2) 3/16" diameter rivets, or (2) spot welds, for each boot clip.


3. Boot Clips or "L" brackets are fastened to joists or other structural members with a minimum of two fasteners for each mounting point using #6 common nails or #8x10 x 1 1/2" min. lg screws.

Note: Increase fastener length where gypsum/drywall ceiling materials exceed 5/8" thick.

4. The clearance between each side of the ceiling radiation damper and the duct drop shall be 1/8 inch maximum.

5. Steel or Aluminum grille or diffuser to be attached to the duct drop or ceiling damper using #8 by 1/2 inch long sheet metal screws.

REQUIREMENTS FASTENERS MUST NOT INTERFERE WITH THE DAMPER BLADES OPERATION. NOTE: ALL INSTALLATIONS ARE SUBJECT TO LOCAL AUTHORITY APPROVAL PRIOR TO ORDERING AND INSTALLING DAMPERS.

For more information, contact your Aldes sales advisor, visit aldes-na.com, call 1.800.255.7749, or find us on 

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1 CONSTANT EXHAUST/SUPPLY BOX
1/8" = 1'-0"

ZBA ARCHITECTURE
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NO.	DATE	BY
REVISIONS		

LS Engineering
High Performance Design

The Commission Building, West 705 Pacific Avenue, Suite 211, Spokane, WA 99201
Fax: 509/747-2266
www.lsenr.com

SHEET TITLE: MECHANICAL DETAILS

PROJECT TITLE: ALDER HOUSE - RENOVATION
ASSISTED LIVING FACILITY
SOUTH BEND, WASHINGTON

SEAL: 

PROJECT NO: 2236
DRAWN: JME/DJL
CHECKED: BGB
DATE: 10/20/2023
DRAWING NO:

M501

ELECTRICAL SCHEDULE FOR MECHANICAL EQUIPMENT

EQUIPMENT	EQUIPMENT TYPE	VOLTAGE	RATED HP	RATED F.L.A.	MINIMUM CIRCUIT AMPACITY*	MAX CIRCUIT PROTECTION	FEEDER SIZING*
ERV 1	AIR-TO-AIR ENERGY RECOVERY VENTILATOR	208VAC, 1Ø, 60 HZ	0.46HP	2.89A	.	2P-15A	ONE SET OF (2) #12 AWG, (1) #12 AWG GND, 3/4" CONDUIT
ERV 2	AIR-TO-AIR ENERGY RECOVERY VENTILATOR	208VAC, 1Ø, 60 HZ	0.46HP	2.89A	.	2P-15A	ONE SET OF (2) #12 AWG, (1) #12 AWG GND, 3/4" CONDUIT
ERV 3	AIR-TO-AIR ENERGY RECOVERY VENTILATOR	208VAC, 1Ø, 60 HZ	0.36HP	6A	.	2P-15A	ONE SET OF (2) #12 AWG, (1) #12 AWG GND, 3/4" CONDUIT
ERV 4	AIR-TO-AIR ENERGY RECOVERY VENTILATOR	208VAC, 1Ø, 60 HZ	0.27HP	2.89A	.	2P-15A	ONE SET OF (2) #12 AWG, (1) #12 AWG GND, 3/4" CONDUIT
EH 1	ELECTRIC HEATER	208VAC, 1Ø, 60 HZ	500W	2.4A	.	2P-20A	ONE SET OF (2) #12 AWG, (1) #12 AWG GND, 3/4" CONDUIT
ECH 1	ELECTRIC COVE HEATER	208VAC, 1Ø, 60 HZ	560W	2.7A	.	2P-20A	ONE SET OF (2) #12 AWG, (1) #12 AWG GND, 3/4" CONDUIT
ECH 2	ELECTRIC COVE HEATER	208VAC, 1Ø, 60 HZ	840W	4.0A	.	2P-20A	ONE SET OF (2) #12 AWG, (1) #12 AWG GND, 3/4" CONDUIT
ECH 3	ELECTRIC COVE HEATER	208VAC, 1Ø, 60 HZ	935W	4.5A	.	2P-20A	ONE SET OF (2) #12 AWG, (1) #12 AWG GND, 3/4" CONDUIT
ECH 4	ELECTRIC COVE HEATER	208VAC, 1Ø, 60 HZ	1125W	5.4A	.	2P-20A	ONE SET OF (2) #12 AWG, (1) #12 AWG GND, 3/4" CONDUIT
ECH 5	ELECTRIC COVE HEATER	120VAC, 1Ø, 60 HZ	210W	1.75A	.	1P-20A	ONE SET OF (2) #12 AWG, (1) #12 AWG GND, 3/4" CONDUIT
CF 1	CEILING FAN	120VAC, 1Ø, 60 HZ	18.9W	0.16A	.	1P-15A	ONE SET OF (2) #12 AWG, (1) #12 AWG GND, 3/4" CONDUIT
CF 2	CEILING FAN	120VAC, 1Ø, 60 HZ	18.9W	0.16A	.	1P-15A	ONE SET OF (2) #12 AWG, (1) #12 AWG GND, 3/4" CONDUIT
CF 3	CEILING FAN	120VAC, 1Ø, 60 HZ	18.9W	0.16A	.	1P-15A	ONE SET OF (2) #12 AWG, (1) #12 AWG GND, 3/4" CONDUIT
SSO 1	SPLIT-SYSTEM HEAT PUMP UNIT	208VAC, 1Ø, 60 HZ	3536W	17.0A	.	2P-35A	ONE SET OF (2) #8 AWG, (1) #10 AWG GND, 3/4" CONDUIT
SSI 1	SPLIT-SYSTEM HEAT PUMP UNIT	-	-	-	.	.	INDOOR UNIT FED FROM OUTDOOR UNIT
SSO 2	SPLIT-SYSTEM HEAT PUMP UNIT	208VAC, 1Ø, 60 HZ	7488W	36.0A	.	2P-45A	ONE SET OF (2) #6 AWG, (1) #10 AWG GND, 1" CONDUIT
SSI 2	SPLIT-SYSTEM HEAT PUMP UNIT	-	-	-	.	.	INDOOR UNIT FED FROM OUTDOOR UNIT
SSO 3	SPLIT-SYSTEM HEAT PUMP UNIT	208VAC, 1Ø, 60 HZ	3711W	17.84A	.	2P-35A	ONE SET OF (2) #8 AWG, (1) #10 AWG GND, 3/4" CONDUIT
SSI 3	SPLIT-SYSTEM HEAT PUMP UNIT	-	-	-	.	.	INDOOR UNIT FED FROM OUTDOOR UNIT
HWRP 1	HOT WATER RECIRC. PUMP	120VAC, 1Ø, 60 HZ	1/24 HP	.	.	1P-15A	ONE SET OF (2) #12 AWG, (1) #12 AWG GND, 3/4" CONDUIT
DWHP 1	DOM HOT WATER HEAT PUMP	208VAC, 3Ø, 60 HZ	56.9 KW	.	177.9A	3P-200A	ONE SET OF (3) #3/0 AWG, (1) #6 AWG GND, 2" CONDUIT
EWH 1	ELECTRIC SWING TANK W/STORAGE	208VAC, 3Ø, 60 HZ	(2) 6.1KW	33.9A	.	3P-100A	ONE SET OF (3) #1 AWG, (1) #8 AWG GND, 1-1/2" CONDUIT
TMV 01	DIGITAL THERMOSTATIC MIXING VALVE	120VAC, 1Ø, 60 HZ	.	.	.	1P-15A	ONE SET OF (2) #12 AWG, (1) #12 AWG GND, 3/4" CONDUIT

*FEEDER SIZING AND MINIMUM CIRCUIT AMPACITY BASED UPON N.E.C. TABLE 310.16 (75°C, COPPER THHW). REFER TO MECHANICAL EQUIPMENT SCHEDULE PLAN M002 & M003 FOR EQUIPMENT MODEL NUMBERS AND CONTROL TYPE. ALL MECHANICAL EQUIPMENT LOW-VOLTAGE CONTROL WIRING TO BE FURNISHED AND INSTALLED BY DIVISION 23 UNLESS OTHERWISE NOTED ON THE DRAWINGS.

SPECIAL NOTE

TYPE NM AND TYPE NMC CABLES SHALL BE PERMITTED FOR ELECTRICAL EQUIPMENT PER NEC ARTICLE 334.10. CONTRACTOR TO DETERMINE WHERE CONDUIT SHALL BE USED IF DEEMED NECESSARY, OTHERWISE TYPE NM AND TYPE NMC CABLES SHALL BE ALLOWED. PANEL FEEDERS AND SERVICE ENTRANCES SHALL BE CONDUIT AND WIRE.



12.04.2023	HMR	
No.	DATE	BY

L:Engineering
High Performance Design
The Commons Building, West 218 Pacific Avenue, Suite 211, Spokane, WA 99201
(509) 747-2179 Fax: (509) 747-2186 www.leng.com

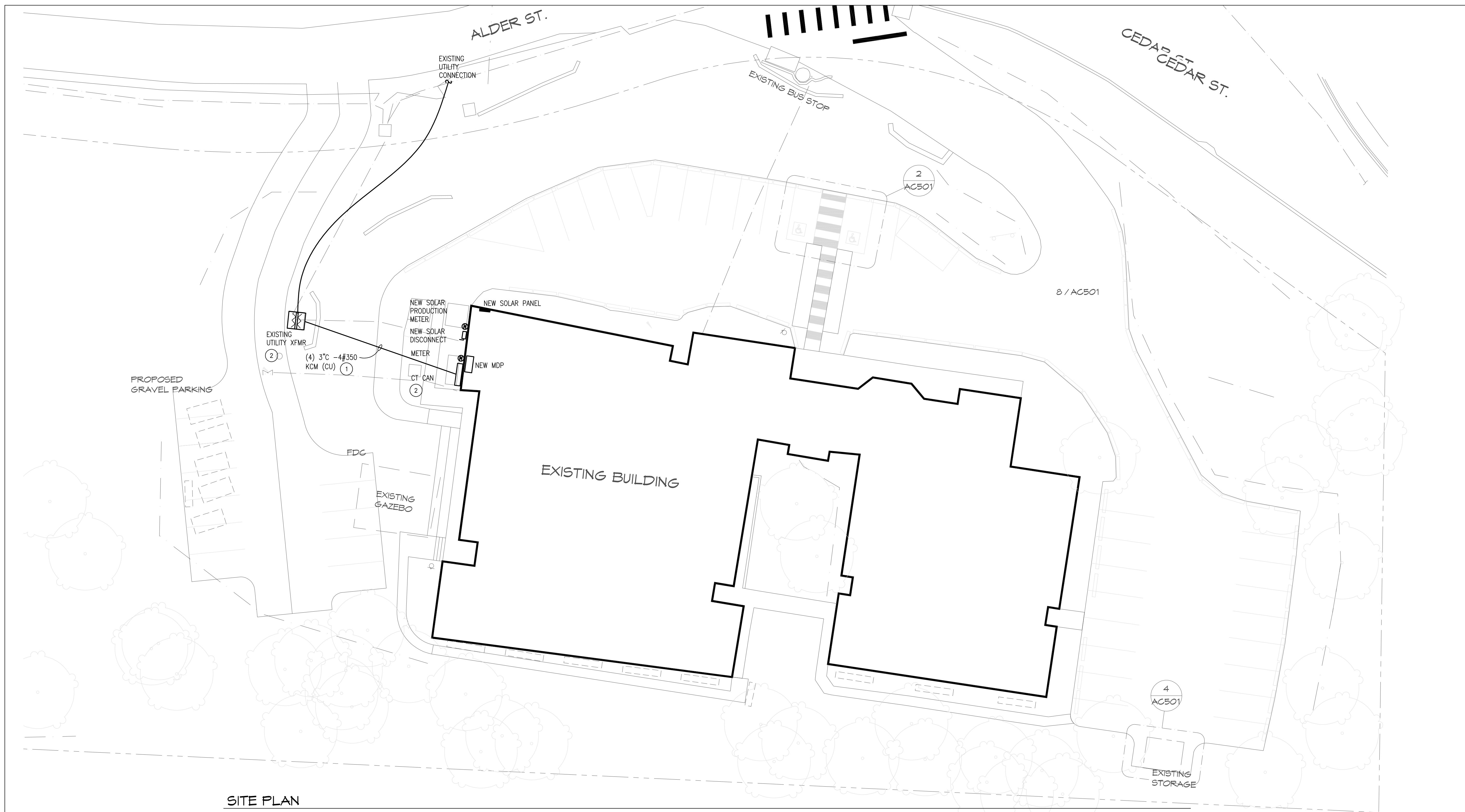
LEGENDS AND SCHEDULES

PROJECT TITLE
ALDER HOUSE - RENOVATION
ASSISTED LIVING FACILITY
SOUTH BEND, WASHINGTON

SHEET TITLE
SEAL

PROJECT NO.	2236
DRAWN	HMR
CHECKED	JDM
DATE	10/20/2023
DRAWING NO.	

E002



SITE PLAN
1/16" = 1'

GENERAL NOTES:

1. COORDINATE WITH PACIFIC COUNTY PUD FOR MODIFICATION TO EXISTING SERVICE.

KEYED NOTES:

- ① VERIFY EXISTING FEEDERS INTO BUILDING FROM UTILITY TRANSFORMER. ORIGINAL DRAWINGS INDICATE THAT THE EXISTING FEEDERS ARE (4) SETS OF 3\"C-3#350 MCM + #1/0 NEUTRAL. PULL OUT EXISTING FEEDERS AND PROVIDE NEW FEEDERS FOR 1200 AMP SERVICE WITH FULL-SIZE NEUTRAL. (4) SETS OF 3\"C-4 #350KCM (CU).
- ② COORDINATE WITH PACIFIC PUD FOR SERVICE MODIFICATIONS. BASED UPON INCREASED BUILDING LOAD, UTILITY TRANSFORMER, CT CAN AND METER MAY NEED TO BE REPLACED. UTILITY FEES TO BE PAID BY THE OWNER, AND EXCLUDED FROM THE BID.



▲	12.04.2023	HMR
No.	DATE	BY

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The Commercial Building, West 218 Pacific Avenue, Suite 211, Spokane, WA 99201
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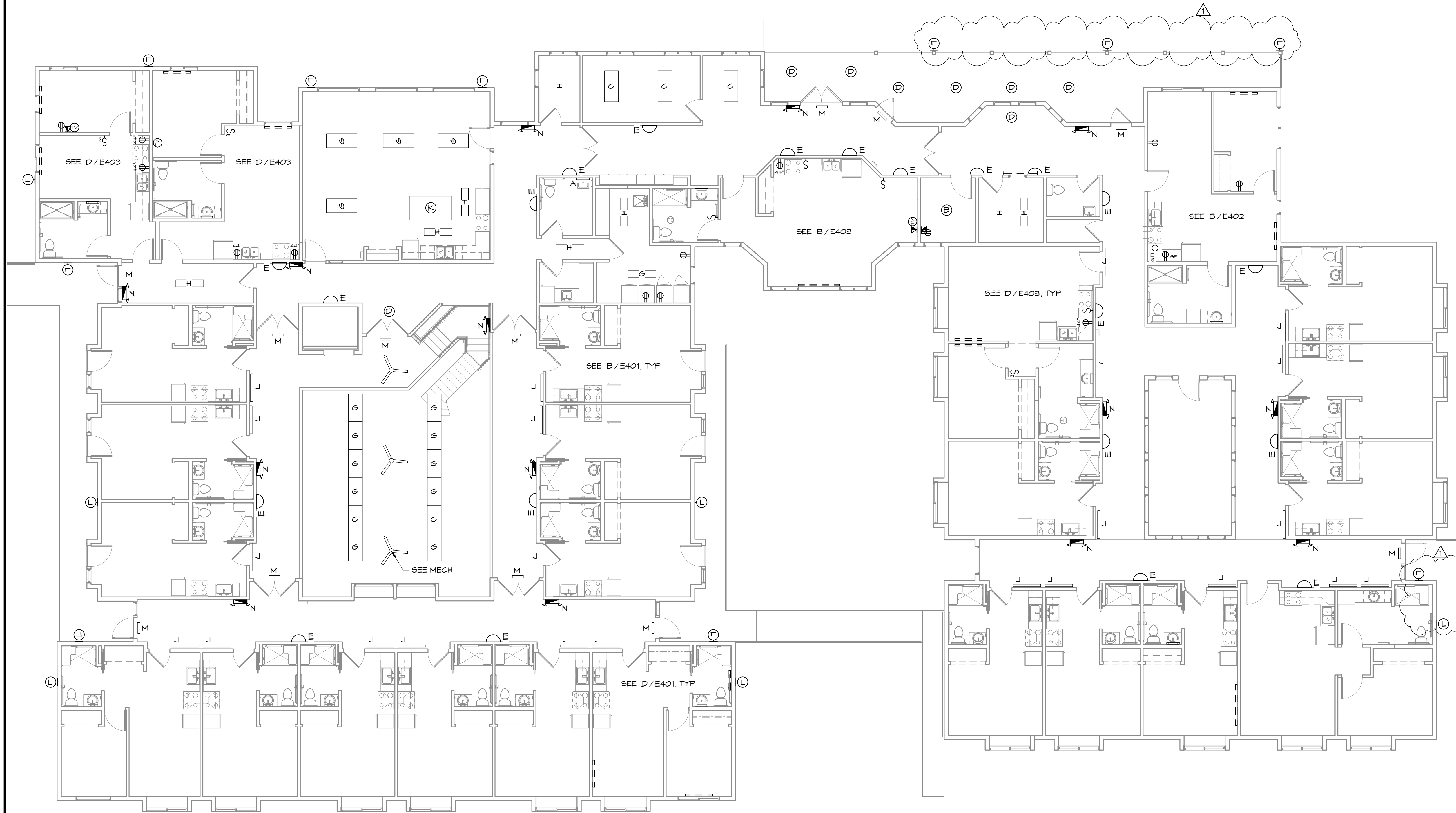
SHEET TITLE: SITE PLAN
PROJECT TITLE: ALDER HOUSE - RENOVATION ASSISTED LIVING FACILITY SOUTH BEND, WASHINGTON

SEAL:

PROJECT NO.	2236
DRAWN	HMR
CHECKED	JDM
DATE	10/20/2023
DRAWING NO.	E101

E101

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MAIN LEVEL - LIGHTING PLAN
1/8" = 1'-0"

INTERIOR LIGHTING FIXTURE SCHEDULE

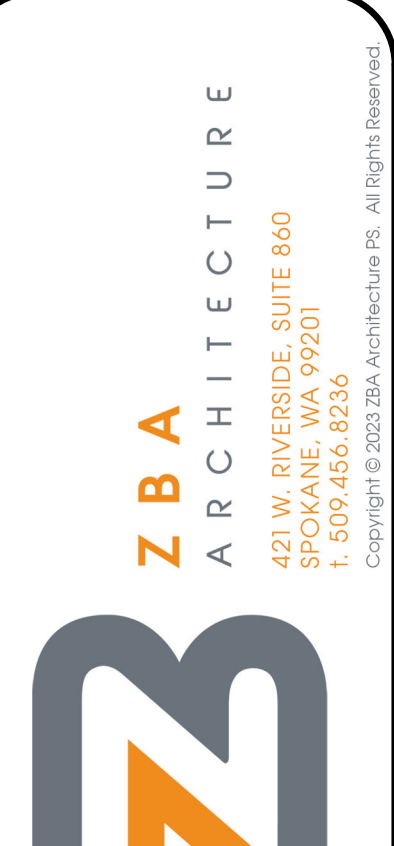
SYMBOL	MFR	PRODUCT NUMBER	LAMP TYPE*	LUMENS	FIXTURE WATTAGE	LOCATION	REMARKS
A	SATCO NUVO	62-1328	LED	1820	26W	VANITY	24" BRUSHED NICKEL
B	AFX	QTVF1425LAJD1BA	LED	2500	33W	UNIT- KITCHEN, LIVING ROOM, BEDROOM	14" BRUSHED ALUMINUM
D	AFX	E6RF0609L30D15N	LED	900	12W	UNITS, COMMON SPACES	5 3/8" SATIN NICKEL
E	LITHONIA LIGHTING	DLSD5 BN - SABLED	LED	120	11.2W	CORRIDOR	SCONCE DIFFUSER, BRUSHED NICKEL W/ BACKPLATE
F	AFX	SLL12483200L30D15N	LED	3200	39W	UNIT- KITCHEN	50" SATIN NICKEL
G	LITHONIA LIGHTING	CPX 2X4 ALOS SWMT M2	LED	5343	50W	OFFICES	2X4 LED PANEL
H	LITHONIA LIGHTING	CPX 1X4 ALOT SWMT M4	LED			CORRIDOR, OFFICE, LAUNDRY, UTILITY	1X4 LED PANEL
J	LITHONIA LIGHTING	CSS-4K3-2-16-16-UNV-DBT-T	LED	4248	35.5 W	CORRIDOR	4' LED STRIP, WALL MOUNTED
K	AFX	ANP1932LAJUDSN-LN	LED	2607	25W	COMMUNITY KITCHEN	19" SATIN NICKEL
L	LUMINAIRE	SNOOP SWP610 YNP MIN10 30K 120V OP BLK CAB PC	LED	-	5W	EXTERIOR FLOOD LIGHT	
M	LITHONIA LIGHTING	LQMSWR 120/2TT ELNM6	LED	-	.71W	EXIT SIGNS IN CORRIDOR	RED EXIT WITH BACKUP BATTERY, WHITE
N	LITHONIA LIGHTING	EU2CM6	LED	-	.56W	EMERGENCY LIGHTING IN CORRIDOR	

ELEC NOTES

- ALL WORK TO CONFORM TO LATEST EDITION OF THE N.E.C.
- NEW RECEPTACLES, TV OUTLETS, TELEPHONE OUTLETS, ETC. SHALL BE INSTALLED 15" ABOVE FLOOR TO DEVICE BOTTOM, UNLESS NOTED OTHERWISE. LIGHT SWITCHES, PTAC CONTROLS, THERMOSTATS, ETC. SHALL BE NO HIGHER THAN 48" TO TOP.
- PROVIDE SMOKE DETECTORS WHERE SHOWN ON PLANS, INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. DETECTORS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH BATTERY BACKUP. DETECTOR SHALL EMIT A SIGNAL WHEN BATTERIES ARE LOW. WIRING SHALL BE PERMANENT AND WITHOUT A DISCONNECTING SWITCH OTHER THAN THOSE REQUIRED FOR OVER CURRENT PROTECTION. INSTALL VISUAL STROBE DEVICES AT ALL TYPE 'A' UNITS. PROVIDE 2 ADDITIONAL SMOKE DETECTORS WITH STROBE LIGHT TO OWNER.
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- FOR FIXTURES, SWITCHES OR OUTLETS THAT ARE BEING RELOCATED, UNLESS NOTED OTHERWISE, THE CONTRACTOR SHALL HAVE THE OPTION OF EXTENDING THE CIRCUIT THROUGH A NEW JUNCTION BOX OR REPLACING THE CIRCUIT COMPLETELY.

ELEC SYMBOLS

- LIGHT FIXTURE
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- SMOKE DETECTOR/CARBON MONOXIDE DETECTOR
- WALL MOUNT LIGHT FIXTURE
- EXHAUST FAN
- HEAT/LIGHT/FAN OR HEAT/LIGHT
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- SWITCH
- 3-WAY SWITCH OR 4-WAY WHERE NOTED)
- FAN/LIGHT SWITCH WITH OFF DELAY
- PHOTO CELL
- STANDARD RECEPTACLE
- RANGE RECEPTACLE
- RECEPTACLE WITH TOP HALF SWITCHED
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- GROUND FAULT INTERRUPTER RECEPTACLE
- WEATHER PROOF GFI RECEPTACLE
- CABLE TELEVISION OUTLET
- CABLE TELEVISION OUTLET-RELOCATED
- JUNCTION BOX OR DISCONNECT SWITCH AS REQUIRED FOR EQUIPMENT (VERIFY)
- WALL MOUNTED LIGHT
- TELEPHONE / DATA
- FULL CORD STATION
- FULL CORD & INTERCOM STATION
- FIRE ALARM



NO.	DATE	BY
1	12/04/2023	SEMB

NO.	DATE	BY

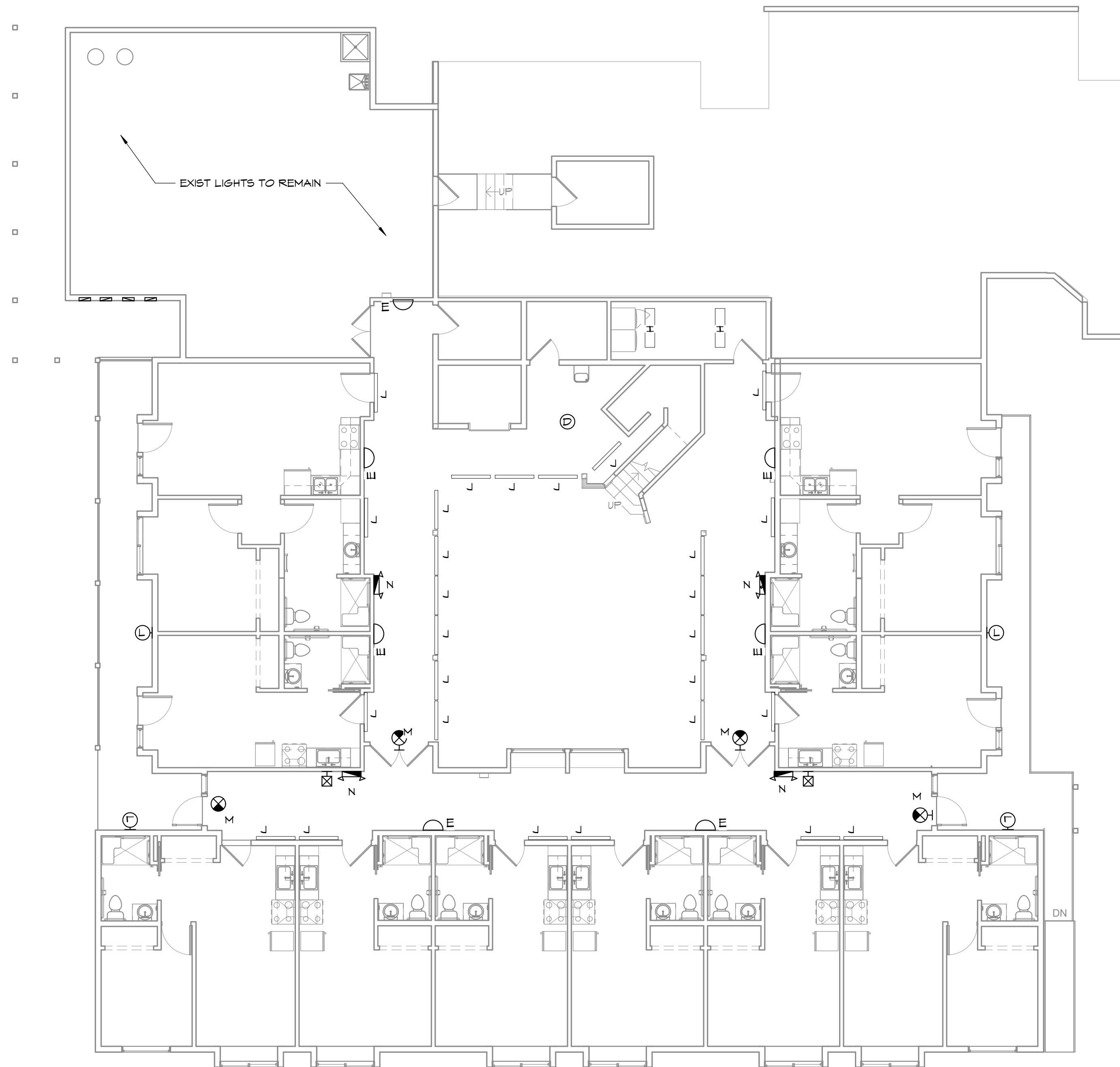
MAIN LEVEL FLOOR PLAN - LIGHTING
ALDER HOUSE - RENOVATION
SOUTH BEND, WASHINGTON
JOINT PACIFIC COUNTY HOUSING AUTHORITY

REGISTERED ARCHITECT
RANDALL SCOT VANHOFF
STATE OF WASHINGTON
12/4/23

PROJECT NO. 2236
DRAWN: NPL
CHECKED: SEMB
DATE: 10/20/2023

DRAWING NO. **E301**

C:\Revit_Temp\2236_Alder_House_Pred4500M.rvt 12/25/2023 10:36:16 AM



LOWER LEVEL - LIGHTING PLAN
1/8" = 1'-0"

INTERIOR LIGHTING FIXTURE SCHEDULE							
SYMBOL	MFR	PRODUCT NUMBER	LAMP TYPE*	LUMENS	FIXTURE WATTAGE	LOCATION	REMARKS
A	SATCO I NUVO	62-1928	LED	1820	26W	VANITY	24" BRUSHED NICKEL
B	AFX	QTVF1425LAJD18A	LED	2500	33W	UNIT- KITCHEN, LIVING ROOM, BEDROOM	14" BRUSHED ALUMINUM
D	AFX	E6RF0809L30D19N	LED	900	12W	UNITS, COMMON SPACES	5 3/8" SATIN NICKEL
E	LITHONIA LIGHTING	DLSD5 BN - SABLED	LED	720	11.2W	CORRIDOR	SCONCE DIFFUSER, BRUSHED NICKEL W/ BACKPLATE
F	AFX	SLL12483200L30D19N	LED	3200	39W	UNIT- KITCHEN	50" SATIN NICKEL
G	LITHONIA LIGHTING	CPX 2X4 ALOS SWMT M2	LED	5343	50W	OFFICES	2X4 LED PANEL
H	LITHONIA LIGHTING	CPX 1X4 ALOT SWMT M4	LED			CORRIDOR, OFFICE, LAUNDRY, UTILITY	1X4 LED PANEL
J	LITHONIA LIGHTING	CSS-4K8-2-16-16-UNV-DBT-T	LED	4248	35.5 W	CORRIDOR	4" LED STRIP, WALL MOUNTED
K	AFX	ANP1932LAJDSN-LN	LED	2807	25W	COMMUNITY KITCHEN	19" SATIN NICKEL
L	LUMINAIRE	SWOOP SWP610 YNP MIN10 30K 120V OP BLK CAB PC	LED	-	5W	EXTERIOR FLOOD LIGHT	
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ELEC NOTES

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- PROVIDE SMOKE DETECTORS WHERE SHOWN ON PLANS, INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. DETECTORS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH BATTERY BACKUP. DETECTOR SHALL EMIT A SIGNAL WHEN BATTERIES ARE LOW. WIRING SHALL BE PERMANENT AND WITHOUT A DISCONNECTING SWITCH OTHER THAN THOSE REQUIRED FOR OVER CURRENT PROTECTION. INSTALL VISUAL STROBE DEVICES AT ALL TYPE 'A' UNITS. PROVIDE 2 ADDITIONAL SMOKE DETECTORS WITH STROBE LIGHT TO OWNER.
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- WALL MOUNTED LIGHT
- TELEPHONE / DATA
- FULL CORD STATION
- FULL CORD & INTERCOM STATION
- FIRE ALARM

ZBA ARCHITECTURE
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1	12/04/2023	SEMB

REVISIONS		
NO.	DATE	BY

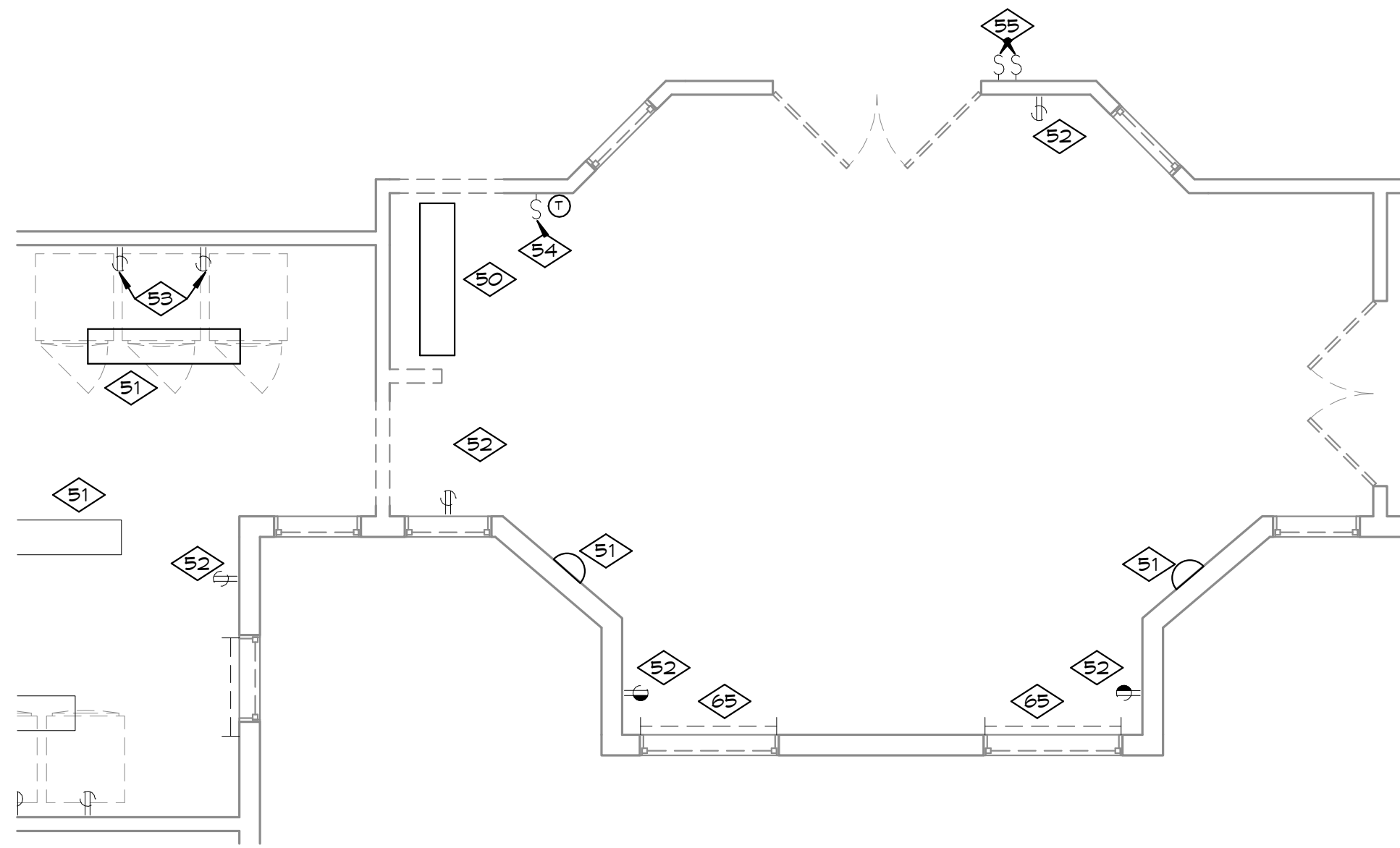
LOWER LEVEL FLOOR PLAN - LIGHTING

ALDER HOUSE - RENOVATION
SOUTH BEND, WASHINGTON
JOINT PACIFIC COUNTY HOUSING AUTHORITY

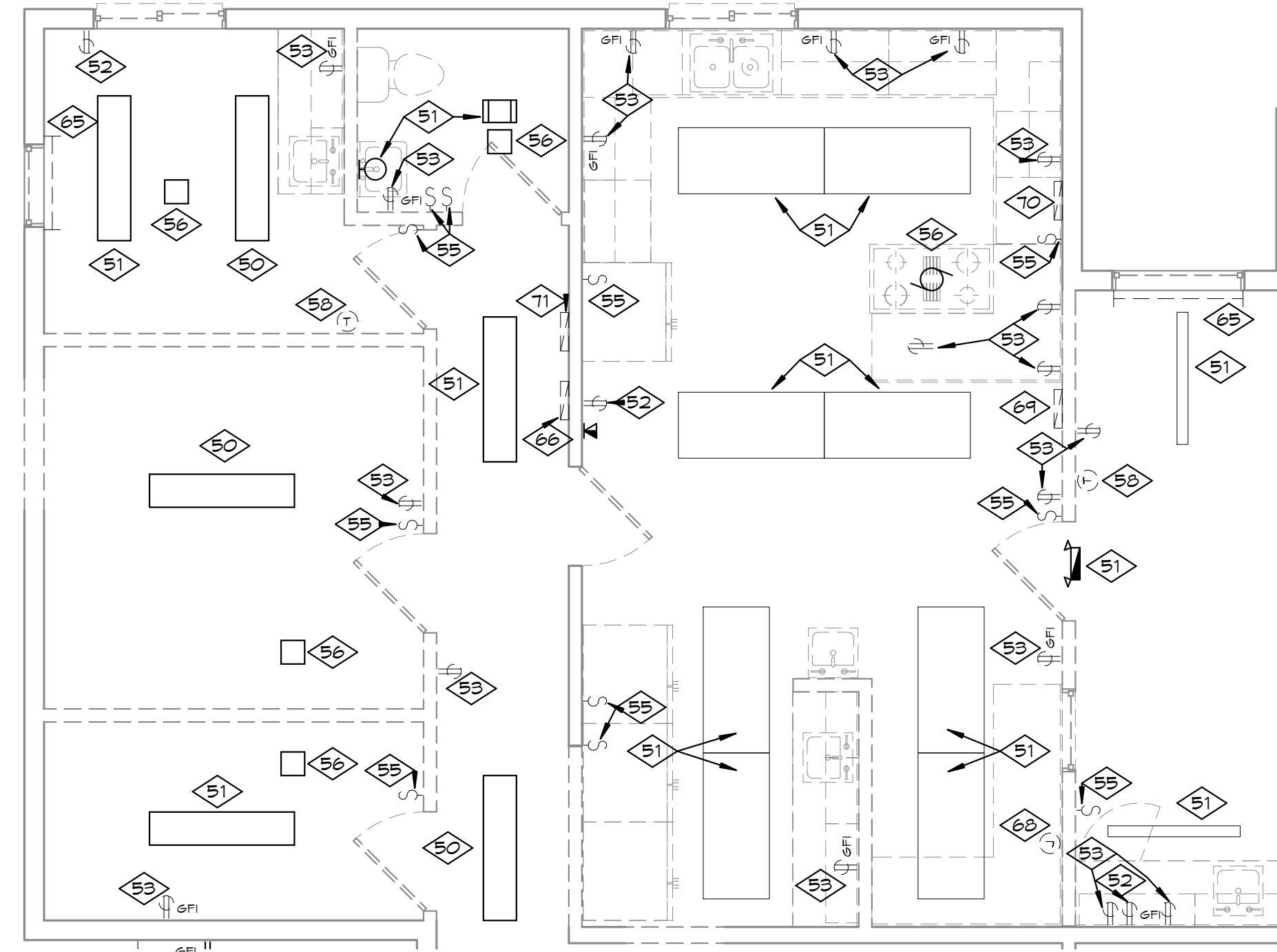
REGISTERED ARCHITECT
Randall Scot Vanhoff
RANDALL SCOT VANHOFF
STATE OF WASHINGTON
12/4/23

PROJECT NO.	2236
DRAWN:	NPL
CHECKED:	SEMB
DATE:	10/20/2023

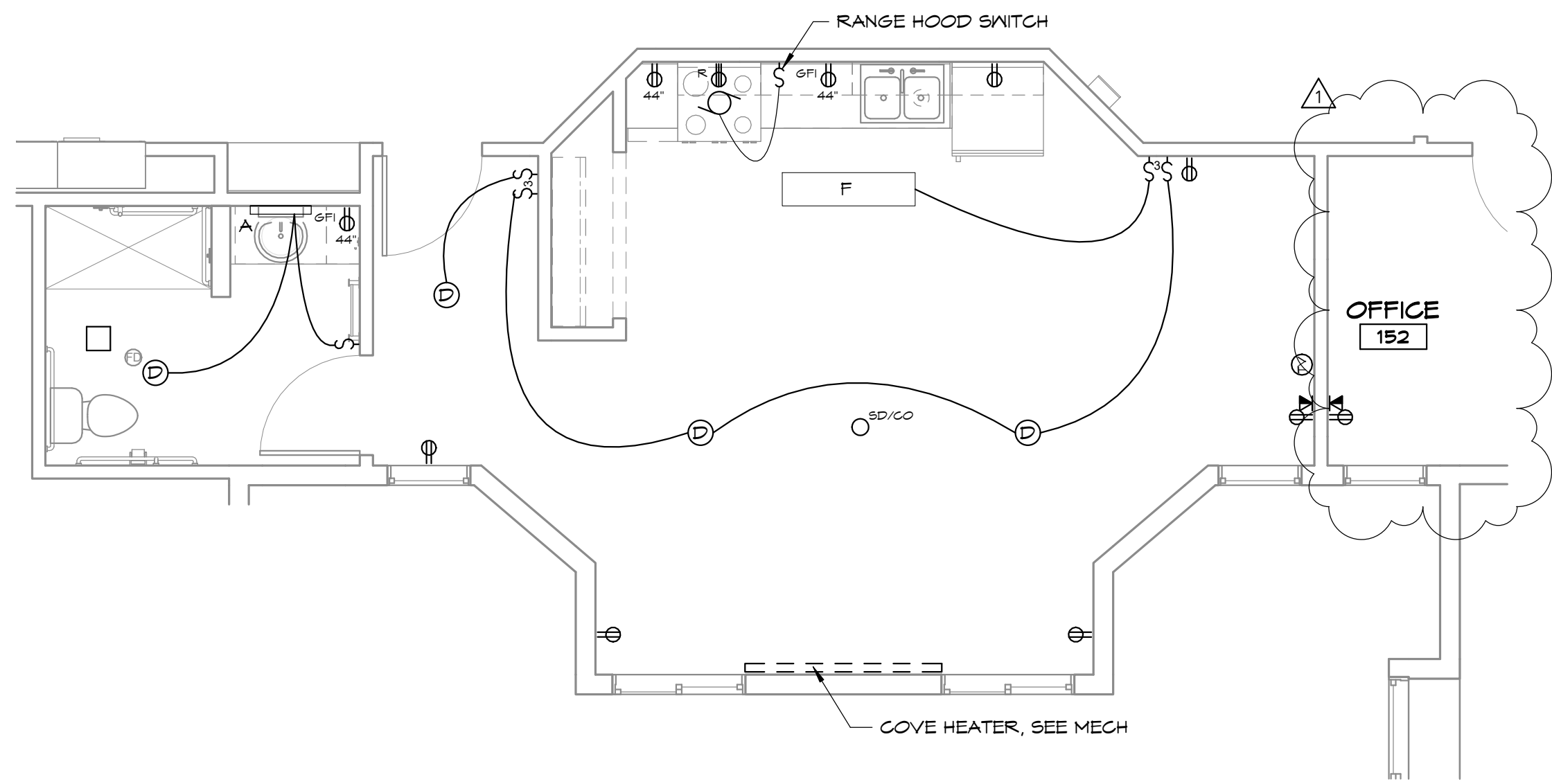
DRAWING NO. **E302**



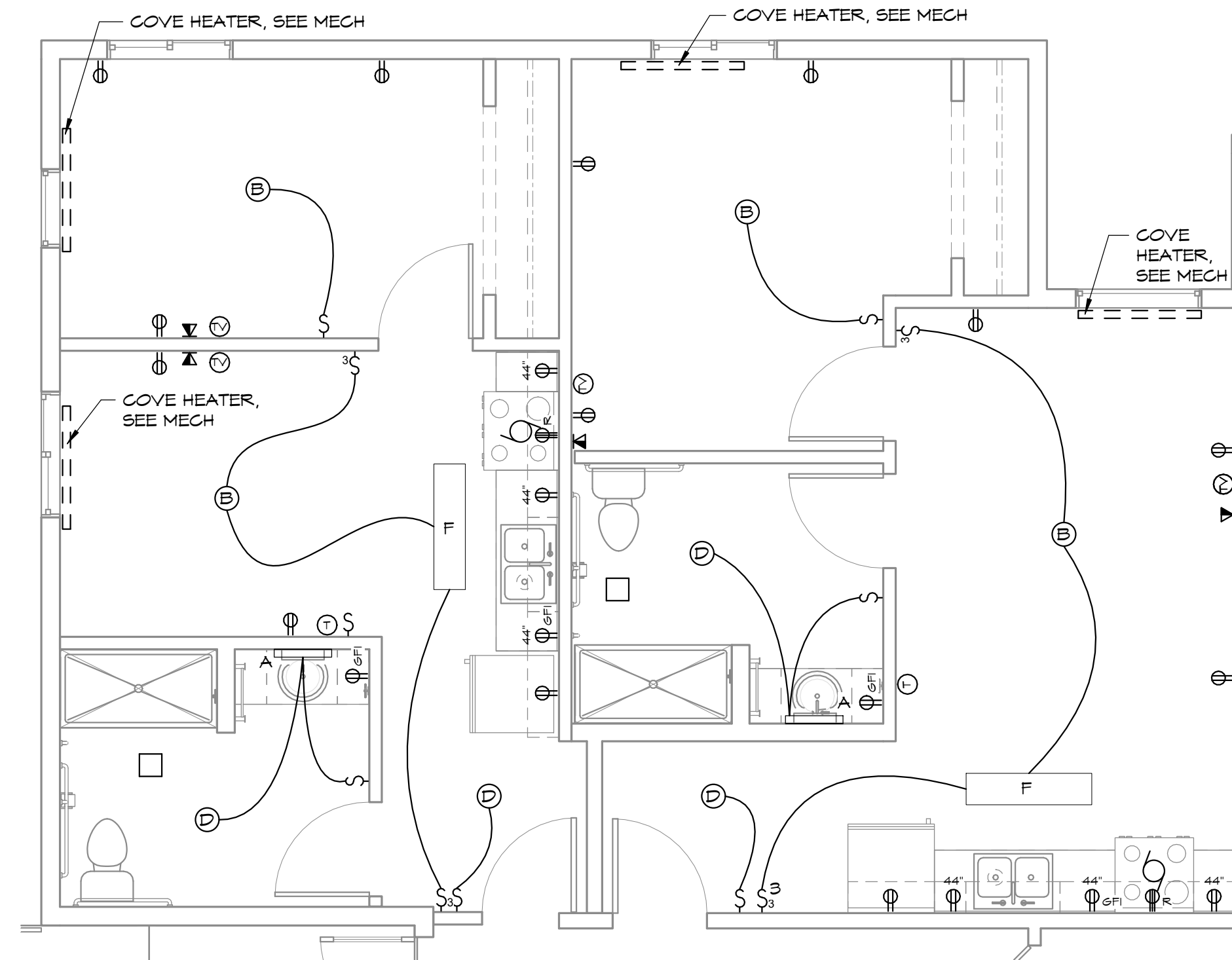
A STUDIO 2 - DEMO ELECTRICAL PLAN
1/4" = 1'-0"



C ONE BEDROOM 124 & 125 - DEMO ELECTRICAL PLAN
1/4" = 1'-0"



B STUDIO 2 - ELECTRICAL PLAN
1/4" = 1'-0"



D ONE BEDROOM 124 & 125 - ELECTRICAL PLAN
1/4" = 1'-0"

KEYED DEMO NOTES

- 50 REMOVE LIGHT FIXTURE
- 51 REMOVE LIGHT FIXTURE AND ABANDON OR RELOCATE WIRING
- 52 REMOVE RECEPTACLE
- 53 REMOVE RECEPTACLE AND ABANDON OR RELOCATE WIRING
- 54 REMOVE SWITCH
- 55 REMOVE SWITCH AND ABANDON OR RELOCATE WIRING
- 56 REMOVE EXHAUST FAN, SEE MECH
- 57 REMOVE EXHAUST FAN AND ABANDON WIRING, SEE MECH
- 58 REMOVE THERMOSTAT
- 59 REMOVE TV CONNECTION AND ABANDON OR RELOCATE CABLE
- 60 REMOVE FIRE ALARM
- 61 REMOVE SMOKE DETECTOR/ CARBON MONOXIDE DETECTOR
- 62 REMOVE SMOKE DETECTOR/ CARBON MONOXIDE DETECTOR, ABANDON WIRING
- 63 REMOVE FULL CORD STATION AND ABANDON WIRING
- 64 REMOVE FULL CORD AND INTERCOM STATION AND PATCH WALL ACCORDINGLY
- 65 REMOVE BASEBOARD HEATER
- 66 REMOVE ELECTRICAL PANEL
- 67 REMOVE FIRE ALARM
- 68 REMOVE SAFETY SWITCH
- 69 REMOVE RANGE HOOD CONTROL PANEL
- 70 REMOVE RANGE HOOD OPERATOR STATION
- 71 REMOVE PANEL

ELEC NOTES

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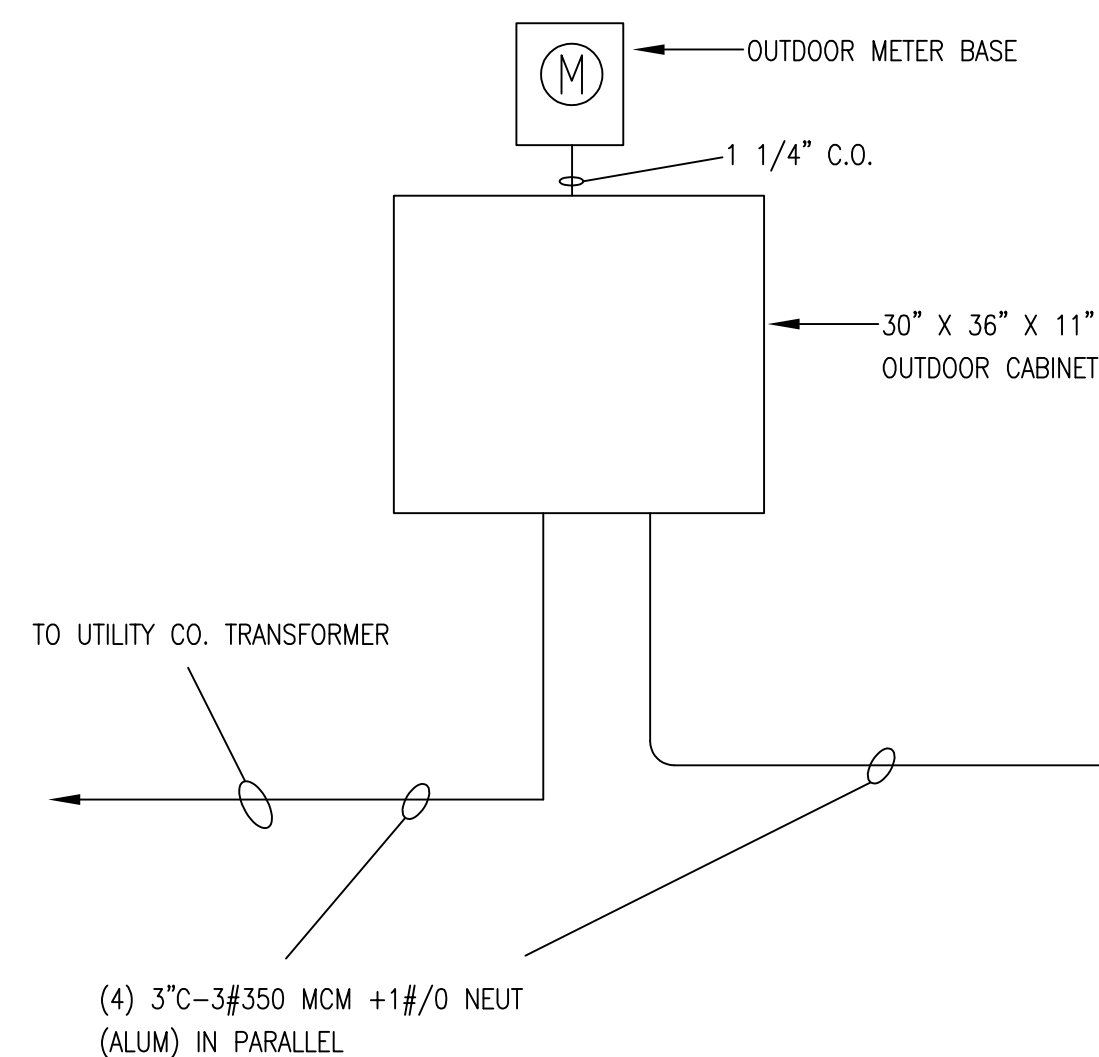
ELECTRICAL UNIT PLANS

ALDER HOUSE - RENOVATION
SOUTH BEND, WASHINGTON
JOINT PACIFIC COUNTY HOUSING AUTHORITY

9584 REGISTERED ARCHITECT
Randall Scot Vanhoff
RANDALL SCOT VANHOFF
STATE OF WASHINGTON
12/4/23

PROJECT NO.	2236
DRAWN:	NPL
CHECKED:	SEMB
DATE:	10/20/2023
DRAWING NO.	E403

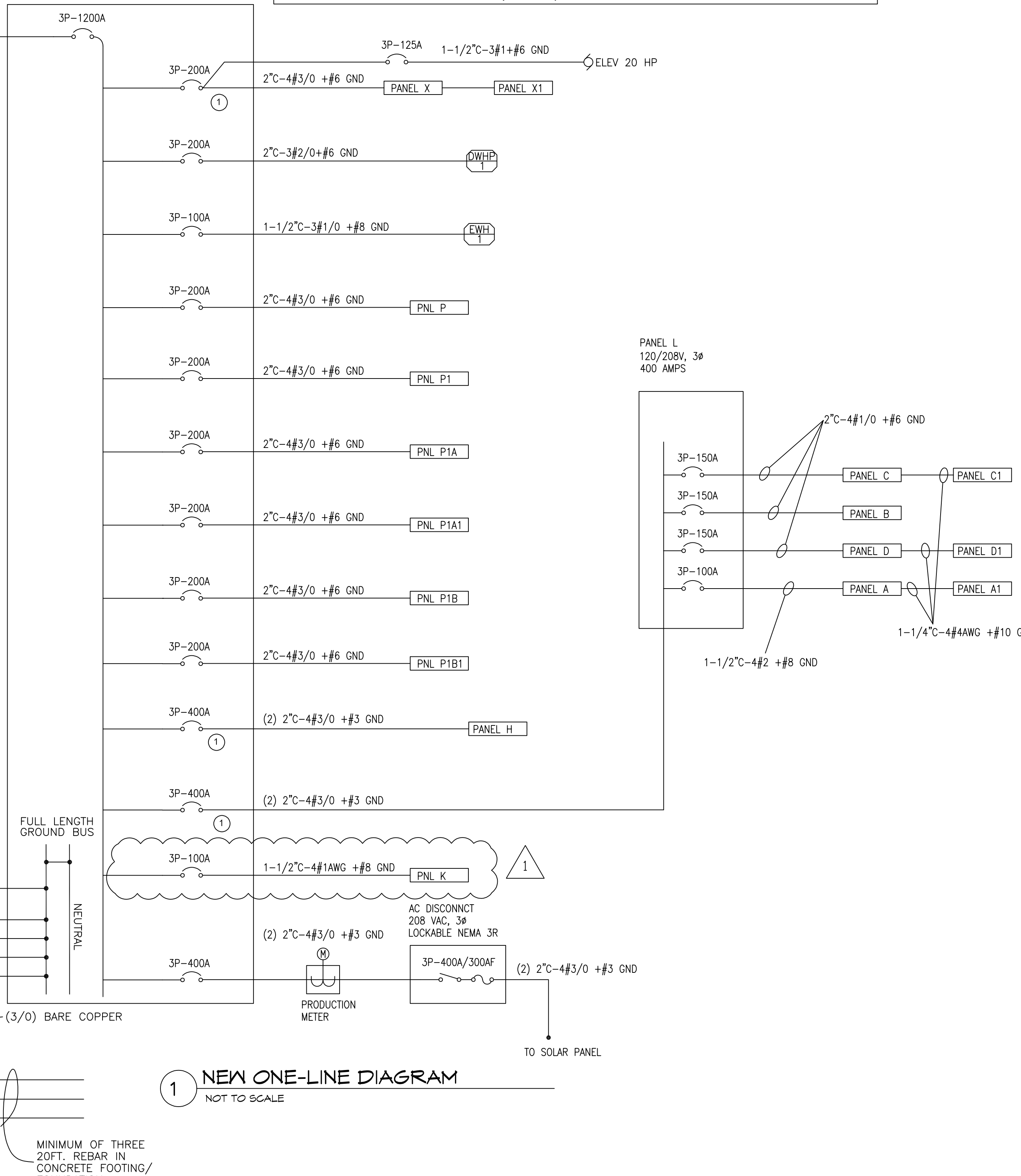
E403



BUILDING LOAD CALCULATIONS

BUILDING	MDP
NUMBER OF STUDIO UNITS	24
NUMBER OF 1 BEDROOM UNITS	11
TOTAL LOAD (VA)	539259
DEMAND FACTOR	30
TOTAL DWELLING LOAD (VA)	161778
HOUSE PANEL (VA)	197960
TOTAL CALCULATED LOAD (VA)	359738
TOTAL CALCULATED LOAD (AMPS)	999

NEW MDP, 1200 AMP
208/120V 3 PHASE 4 WIRE
50,000 AIC ASSEM



1 NEW ONE-LINE DIAGRAM
NOT TO SCALE

GENERAL NOTES:

1. GROUND ENTIRE ELECTRICAL SERVICE AS SHOWN. PROVIDE NEW GROUND RODS. CONNECT TO WATER SERVICE AND STRUCTURAL STEEL.

KEYED NOTES:

1 RECONNECT EXISTING SERVICE FEEDERS TO MAIN DISTRIBUTION PANEL. GROUND PANEL PER NEC.

DWELLING UNIT LOAD CALCULATIONS NEC 220.82 1 BDRM

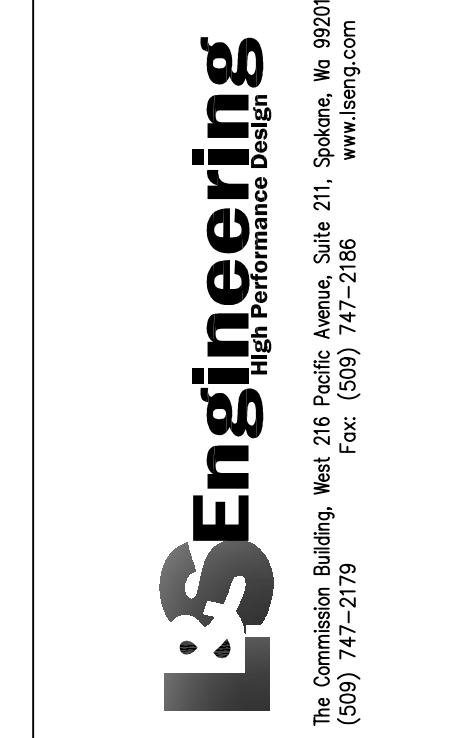
AREA	605 SQ FT
UNIT LOAD	3 VA/SQ FT
GENERAL LIGHTING/RECEPTACLE LOAD	1815 VA
SMALL APPLIANCE CIRCUITS	3000 VA
ELECTRIC RANGE	8000 VA
REFRIGERATOR	800 VA
MICROWAVE	1500 VA
FANS	144 VA
TOTAL NON HEATING	15259 VA
FIRST 10 KVA	10000 VA
REMAINDER AT 40%	2104 VA
TOTAL NON HEATING DEMAND	12104 VA
AIR CONDITIONING	0 VA
HEATING	1965 VA @ 65%
LARGEST OF AC, HEAT	1277 VA
TOTAL CALCULATED LOAD	13381 VA
AMPERES ON 120/208V, 3 PHASE SERVICE	37 AMPS

DWELLING UNIT LOAD CALCULATIONS NEC 220.82 STUDIO

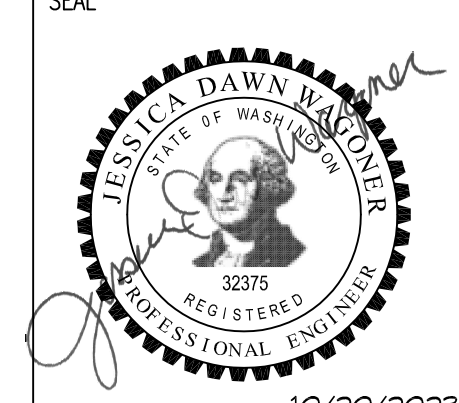
AREA	300 SQ FT
UNIT LOAD	3 VA/SQ FT
GENERAL LIGHTING/RECEPTACLE LOAD	900 VA
SMALL APPLIANCE CIRCUITS	3000 VA
ELECTRIC RANGE	8000 VA
REFRIGERATOR	800 VA
MICROWAVE	1500 VA
FANS	144 VA
TOTAL NON HEATING	14344 VA
FIRST 10 KVA	10000 VA
REMAINDER AT 40%	1738 VA
TOTAL NON HEATING DEMAND	11738 VA
AIR CONDITIONING	0 VA
HEATING	840 VA @ 65%
LARGEST OF AC, HEAT	546 VA
TOTAL CALCULATED LOAD	12284 VA
AMPERES ON 120/208V, 3 PHASE SERVICE	34 AMPS



12.04.2023	HMR	
No.	DATE	BY



ONE-LINE DIAGRAM
PROJECT TITLE
ALDER HOUSE - RENOVATION
ASSISTED LIVING FACILITY
SOUTH BEND, WASHINGTON



PROJECT NO.	2236
DRAWN	HMR
CHECKED	JDM
DATE	10/20/2023
DRAWING NO.	

E802

PANELBOARD SCHEDULE: MAIN BREAKER: 3P-100A, PANEL A REVISED, TOTAL CALCULATED LOAD: 19.66 KVA. Includes circuit list with descriptions like LIGHTINGREC-112,113 and electrical load calculations.

PANELBOARD SCHEDULE: MAIN BREAKER: MLO, PANEL C REVISED, TOTAL CALCULATED LOAD: 36.99 KVA. Includes circuit list with descriptions like LIGHTINGREC-109,110 and electrical load calculations.

PANELBOARD SCHEDULE: MAIN BREAKER: 3P-1200A, PANEL MDP REVISED, TOTAL CALCULATED LOAD: 348.00 KVA. Includes circuit list with descriptions like PANEL X,1 and electrical load calculations.

PANELBOARD SCHEDULE: MAIN BREAKER: MLO, PANEL A1 REVISED, TOTAL CALCULATED LOAD: 8.25 KVA. Includes circuit list with descriptions like MICROWAVE 117 and electrical load calculations.

PANELBOARD SCHEDULE: MAIN BREAKER: MLO, PANEL C1 REVISED, TOTAL CALCULATED LOAD: 8.45 KVA. Includes circuit list with descriptions like REFER RM 102 and electrical load calculations.

PANELBOARD SCHEDULE: MAIN BREAKER: 3P-400A, PANEL C1 REVISED, TOTAL CALCULATED LOAD: 92.46 KVA. Includes circuit list with descriptions like PANEL C,1 and electrical load calculations.

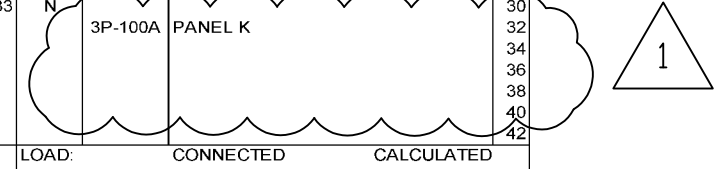
PANELBOARD SCHEDULE: MAIN BREAKER: MLO, PANEL B REVISED, TOTAL CALCULATED LOAD: 28.54 KVA. Includes circuit list with descriptions like LIGHTING-166 and electrical load calculations.

PANELBOARD SCHEDULE: MAIN BREAKER: MLO, PANEL D REVISED, TOTAL CALCULATED LOAD: 21.19 KVA. Includes circuit list with descriptions like LIGHTINGREC-013 and electrical load calculations.

PANELBOARD SCHEDULE: MAIN BREAKER: MLO, PANEL H REVISED, TOTAL CALCULATED LOAD: 20.72 KVA. Includes circuit list with descriptions like ISSO-1 and electrical load calculations.

PANELBOARD SCHEDULE: MAIN BREAKER: 3P-100A, PANEL K (REV), TOTAL CALCULATED LOAD: 10.58 KVA. Includes circuit list with descriptions like RANGE COMM KIT 166 and electrical load calculations.

PANELBOARD SCHEDULE: MAIN BREAKER: MLO, PANEL D1 REVISED, TOTAL CALCULATED LOAD: 2.79 KVA. Includes circuit list with descriptions like MICROWAVE 014 and electrical load calculations.



ZBA ARCHITECTURE logo and contact information: 421 W. RIVERSIDE, SUITE 800, SPOKANE, WA 99201, I. 509.456.8256.

Table with columns: No., DATE, BY. Row 1: 12.04.2023, HMR.

ES Engineering logo and contact information: The Commission Building, West 216 Pacific Avenue, Suite 211, Spokane, WA 99201, (509) 747-2179.

PANEL SCHEDULES - NEW AND REVISED. ALDER HOUSE - RENOVATION ASSISTED LIVING FACILITY SOUTH BEND, WASHINGTON.

Professional Engineer seal for Jessica Dawn Warkentin, License No. 32375, State of Washington.

PROJECT NO. 2236, DRAWN HMR, CHECKED JDM, DATE 10/20/2023, DRAWING NO. EQ02.