



421 W. RIVERSIDE
SUITE 860
SPOKANE, WA 99201

ZBAARCHITECTURE.COM
t. 509.456.8236

ADDENDUM NO. 4

December 18, 2023

ALDER HOUSE RENOVATION
South Bend, Washington

The following addendum items shall become part of the Contract Documents for the above referenced project.

PROJECT MANUAL

Item No. 1: Section 001113 – ADVERTISEMENT FOR BIDS

1.2 BID OPENING, paragraph B

Zoom Meeting Link:

<https://us02web.zoom.us/j/82372219347?pwd=UXo1ek9SWGxPRmdpdE5hVlkvb3NpQT09>

Meeting ID: 823 7221 9347

Passcode: 445599

Dial by your location

- +1 253 215 8782 US (Tacoma)
- +1 253 205 0468 US

Item No. 2: Section 009100 – SPECIAL CONDITIONS

10.1, Paragraph B – Davis Bacon wage classifications shall be in conformance with the **U.S. Department of Labor.**

19.1, Paragraph D – *In lieu of AIA Document A305, Bidders may provide a similar document which shall include the same information.*

Item No. 3: Section 055000 – METAL FABRICATIONS &
Section 064310 – FIBERGLASS RAILINGS

Clarification: *For the interior railings only, steel fabricated railings are an approved substitution.*

DRAWINGS

Item No. 4: Replace **Sheet AC101** in its entirety with the one attached.

Item No. 5: Replace **Sheet AC501** in its entirety with the one attached.

Item No. 6: Replace **Sheet C200** in its entirety with the one attached.

Item No. 7: Replace **Sheet C200A** in its entirety with the one attached.

Item No. 8: Replace **Sheet C201A** in its entirety with the one attached.

Item No. 9: Replace **Sheet M601** in its entirety with the one attached.

Item No. 10: Replace **Sheet P202** in its entirety with the one attached.

Item No. 11: **Sheet P602** change label 'SWT-1' to 'EWH-1'.

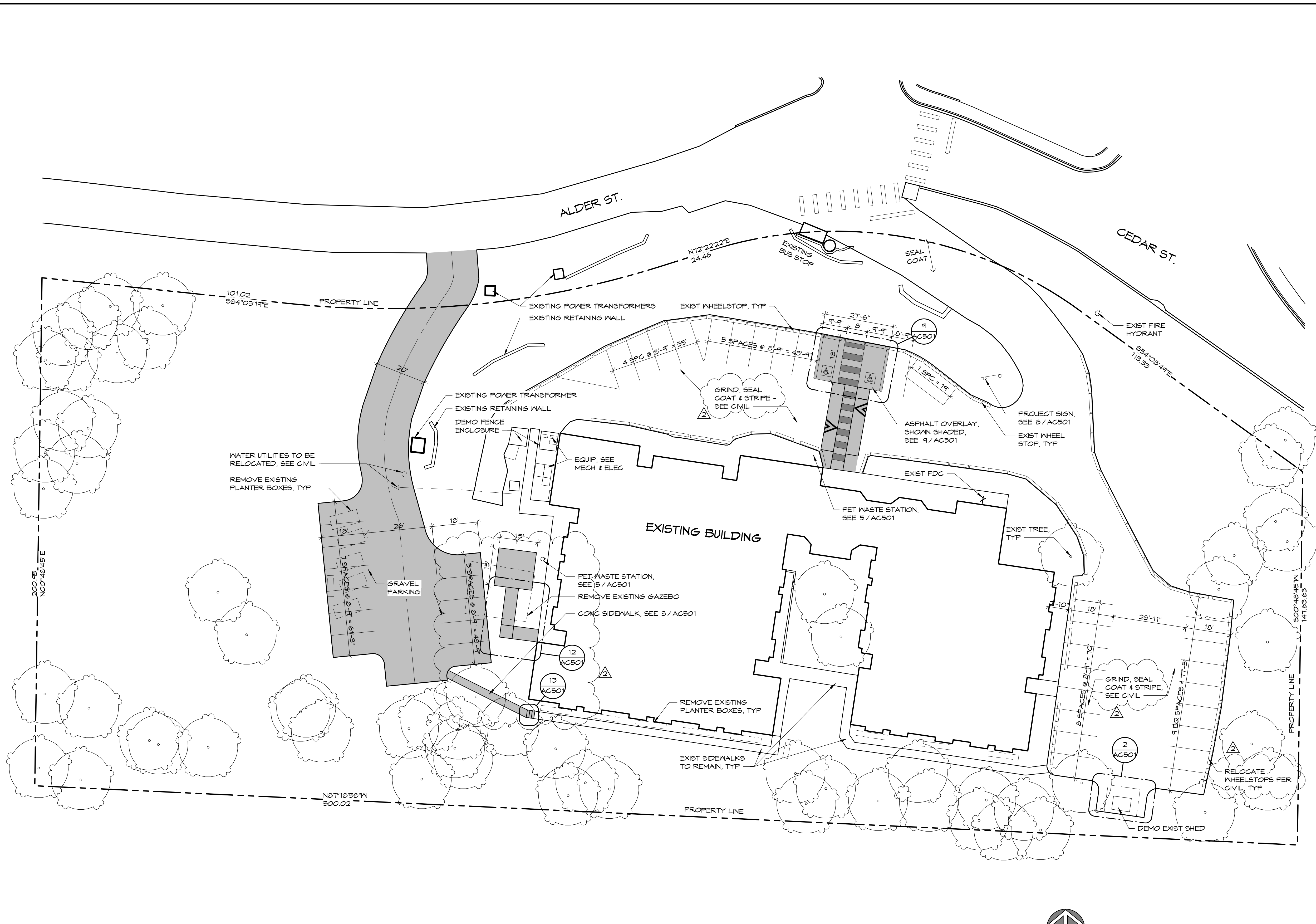
Item No. 12: Replace **Sheet E202** in its entirety with the one attached.

Item No. 13: **Sheet E401-E403**, Electrical Notes, #3.

Clarification: *Unit smoke/carbon monoxide detectors shall signal in-unit detectors only, not building-wide.*

****END OF ADDENDUM****

C:\Revit_Temp\2236_Alder_House_Prelim.dwg



ARCHITECTURAL SITE PLAN
1" = 20'-0"



SITE PLAN NOTES

- SEE CIVIL DRAWINGS FOR GRADING, DRAINAGE, & UTILITIES.
- SEE ELECTRICAL DRAWINGS FOR SITE LIGHTING & POWER DISTRIBUTION.
- SEE LANDSCAPE DRAWINGS FOR PLANTING & IRRIGATION.
- INDICATES ACCESSIBLE PARKING STALL
- INDICATES FUTURE EV CHARGING STALL, SEE ELECTRICAL DRAWINGS
- ACCESSIBLE ROUTES (SIDEWALKS, CROSSWALKS, ETC) SHALL BE 5% MAX SLOPE IN THE DIRECTION OF TRAVEL AND 2% MAX CROSS SLOPE.
- CURB RAMP SHALL BE 1:12 MAX SLOPE IN THE DIRECTION OF TRAVEL AND 2% MAX CROSS SLOPE.
- RAMP SHALL BE 1:12 MAX SLOPE IN THE DIRECTION OF TRAVEL AND 2% MAX CROSS SLOPE. RAMP LANDINGS SHALL BE 2% MAX SLOPE IN ANY DIRECTION & 30 FEET MAX BETWEEN LANDINGS
- LANDINGS AT DOORS & STAIRS SHALL BE 2% MAX SLOPE IN ANY DIRECTION.

ZONING: UGA (URBAN GROWTH AREA)
PARCEL #: 14093321038
PROPOSED PARKING: 42 SPACES
LOT COVERAGE: BLDG FOOTPRINT 16,383 SF, LAND AREA: 102,470 SF

ACCESSIBLE ROUTES

- ACCESSIBLE ROUTES (SIDEWALKS, CROSSWALKS, ETC) SHALL BE 5% MAX SLOPE IN THE DIRECTION OF TRAVEL AND 2% MAX CROSS SLOPE.
- RAMP SHALL BE 1:12 MAX SLOPE IN THE DIRECTION OF TRAVEL AND 2% MAX CROSS SLOPE. RAMP LANDINGS SHALL BE 2% MAX SLOPE IN ANY DIRECTION & 30 FEET MAX BETWEEN LANDINGS.
- LANDINGS AT DOORS & STAIRS SHALL BE 2% MAX SLOPE IN ANY DIRECTION.

ZBA ARCHITECTURE
421 W. RIVERSIDE, SUITE 860
SPOKANE, WA 99201
P. 509.456.8236
Copyright © 2023 ZBA Architecture PS. All Rights Reserved.

NO.	DATE	BY
2	12/18/23	SEMB

ARCHITECTURAL SITE PLAN

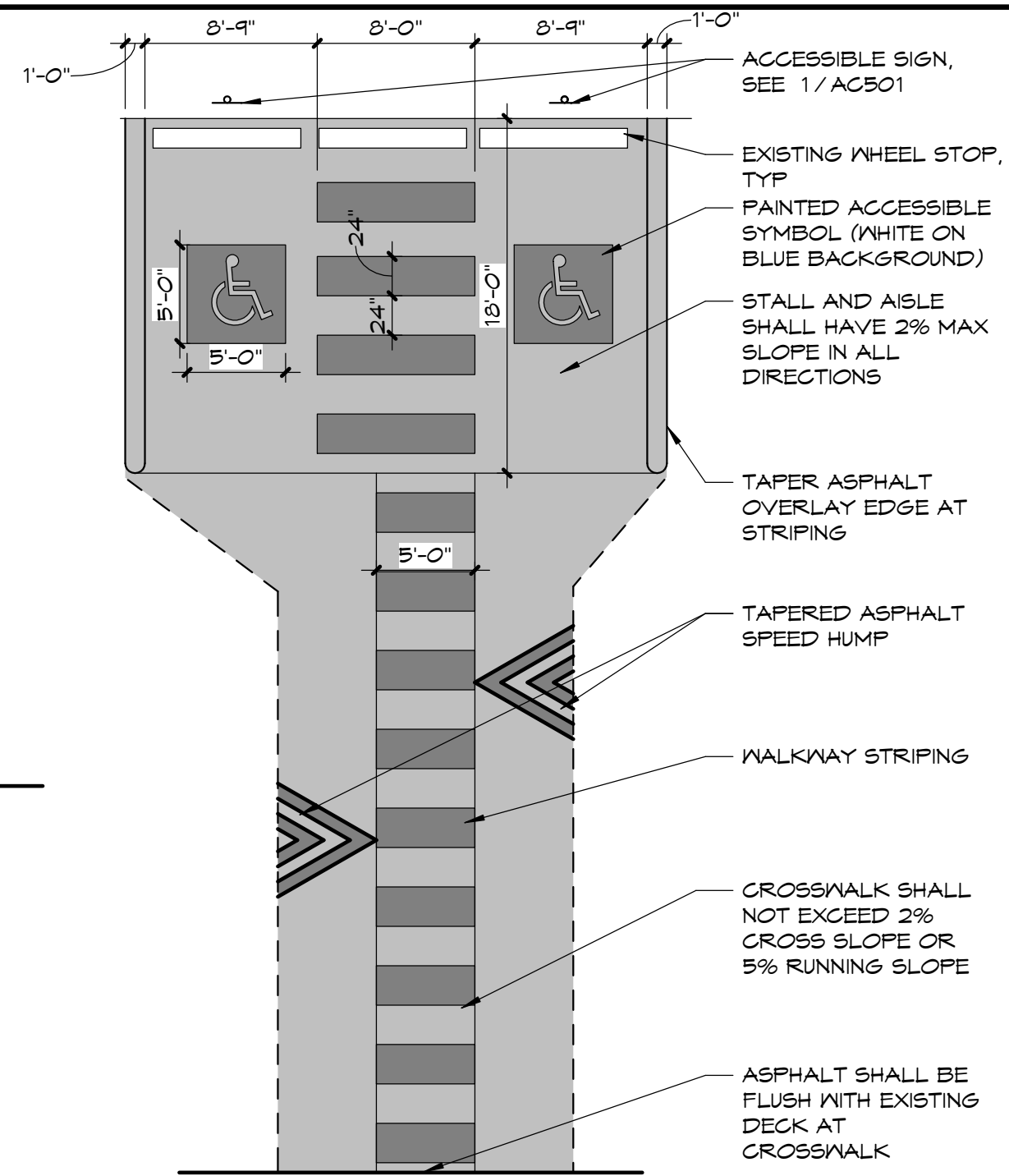
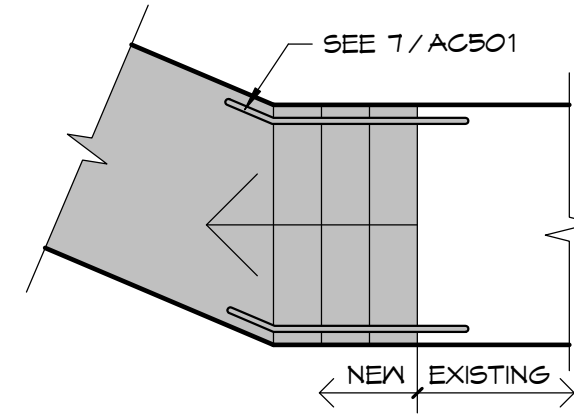
ALDER HOUSE - RENOVATION
SOUTH BEND, WASHINGTON
JOINT PACIFIC COUNTY HOUSING AUTHORITY

REGISTERED ARCHITECT
Randall Scot Vanhoff
RANDALL SCOT VANHOFF
STATE OF WASHINGTON
12/4/23

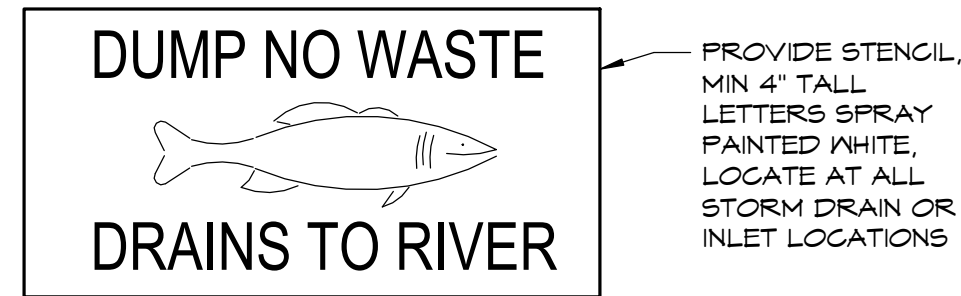
PROJECT NO.	2236
DRAWN	NPL
CHECKED	SEMB
DATE	10/20/2023
DRAWING NO.	

AC101

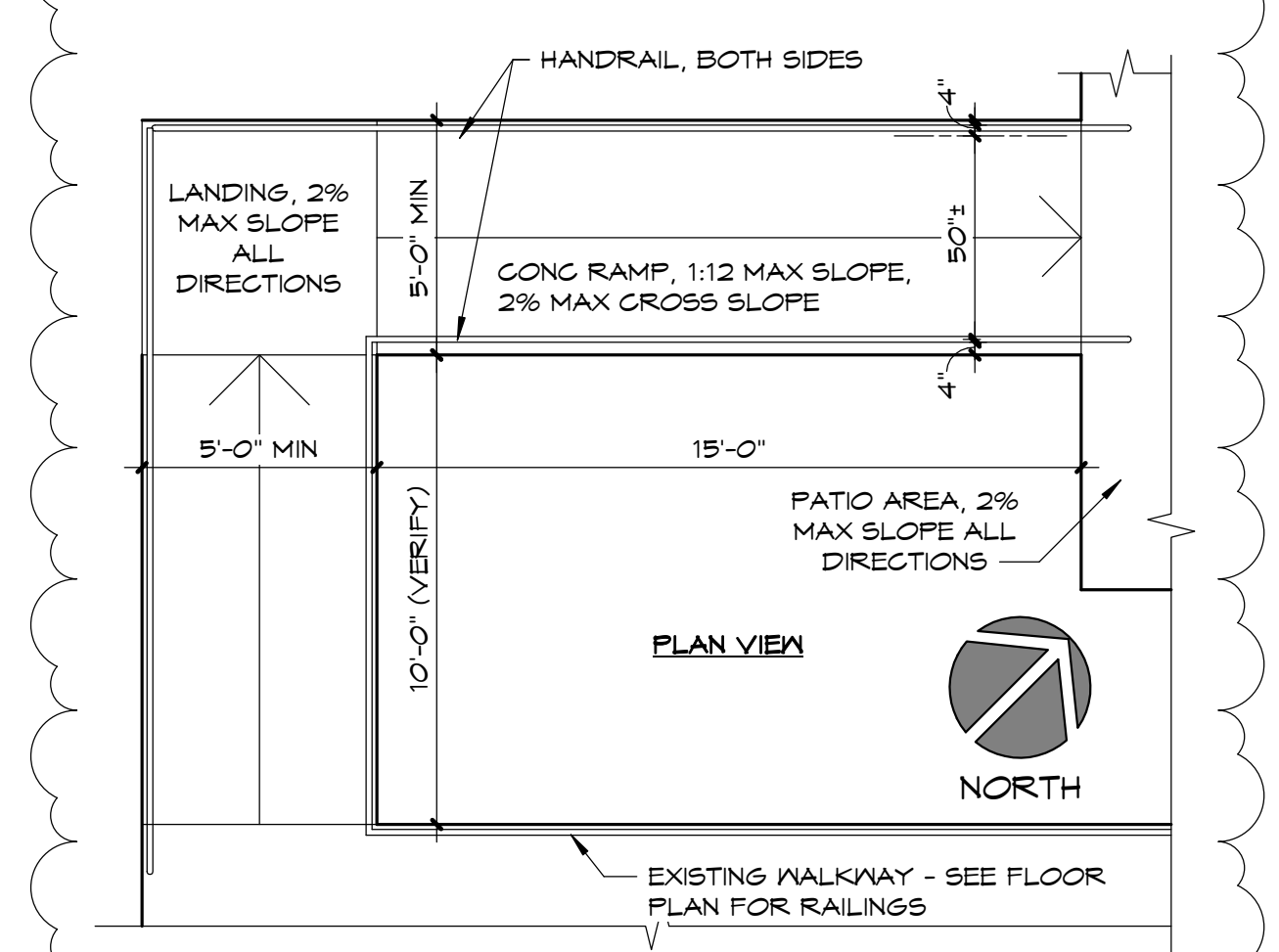
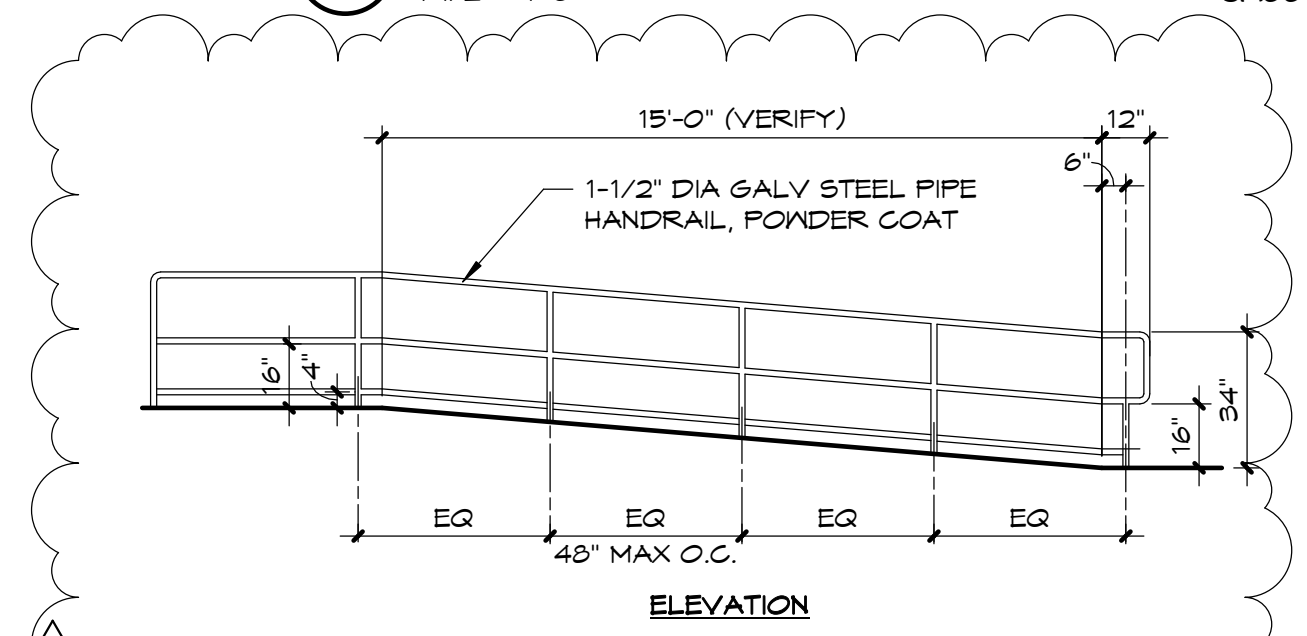
13 EXT STAIRS
1/4" = 1'-0"



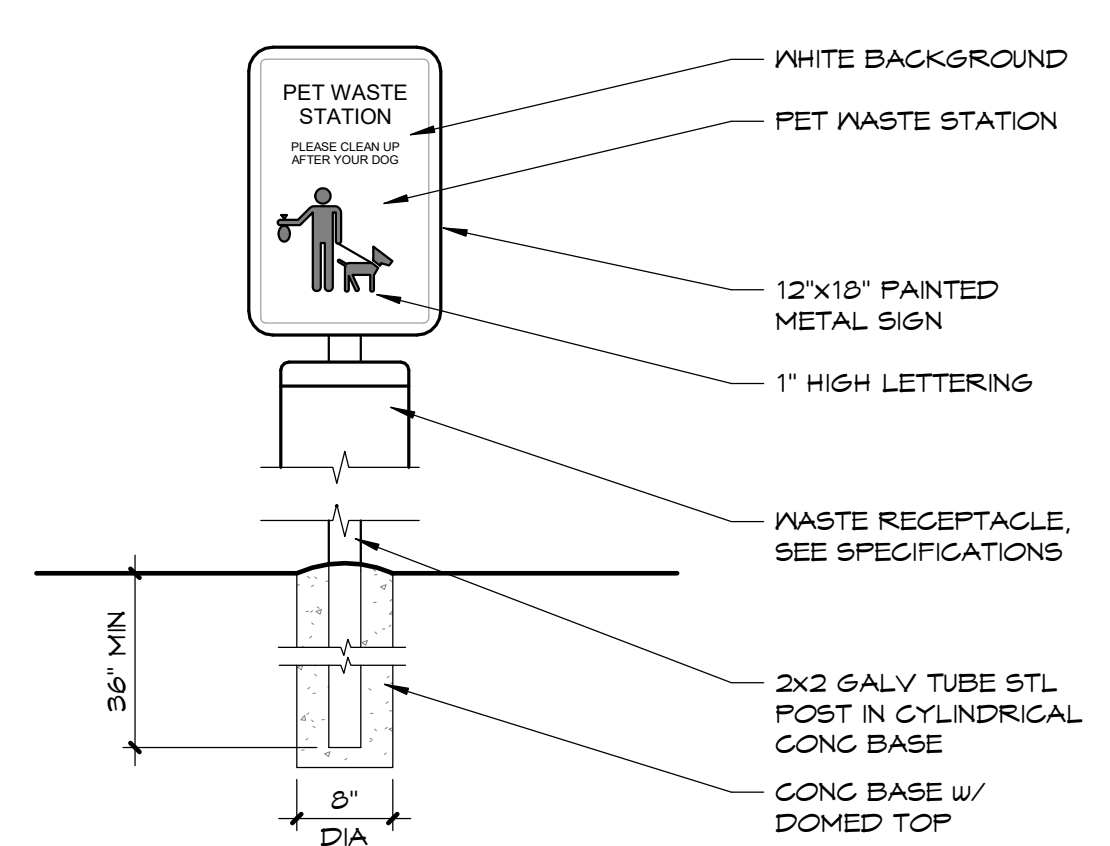
9 ACC PARKING - ASPHALT OVERLAY
1/8" = 1'-0"



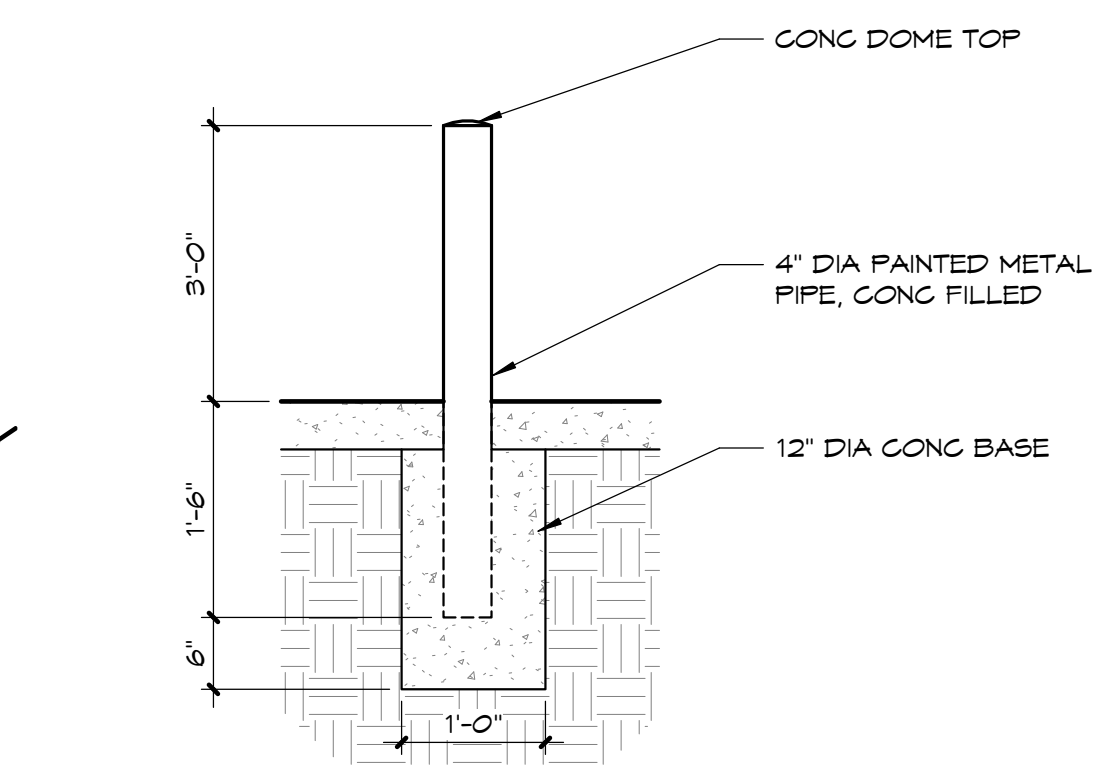
10 STORM DRAIN STENCILS
1 1/2" = 1'-0"



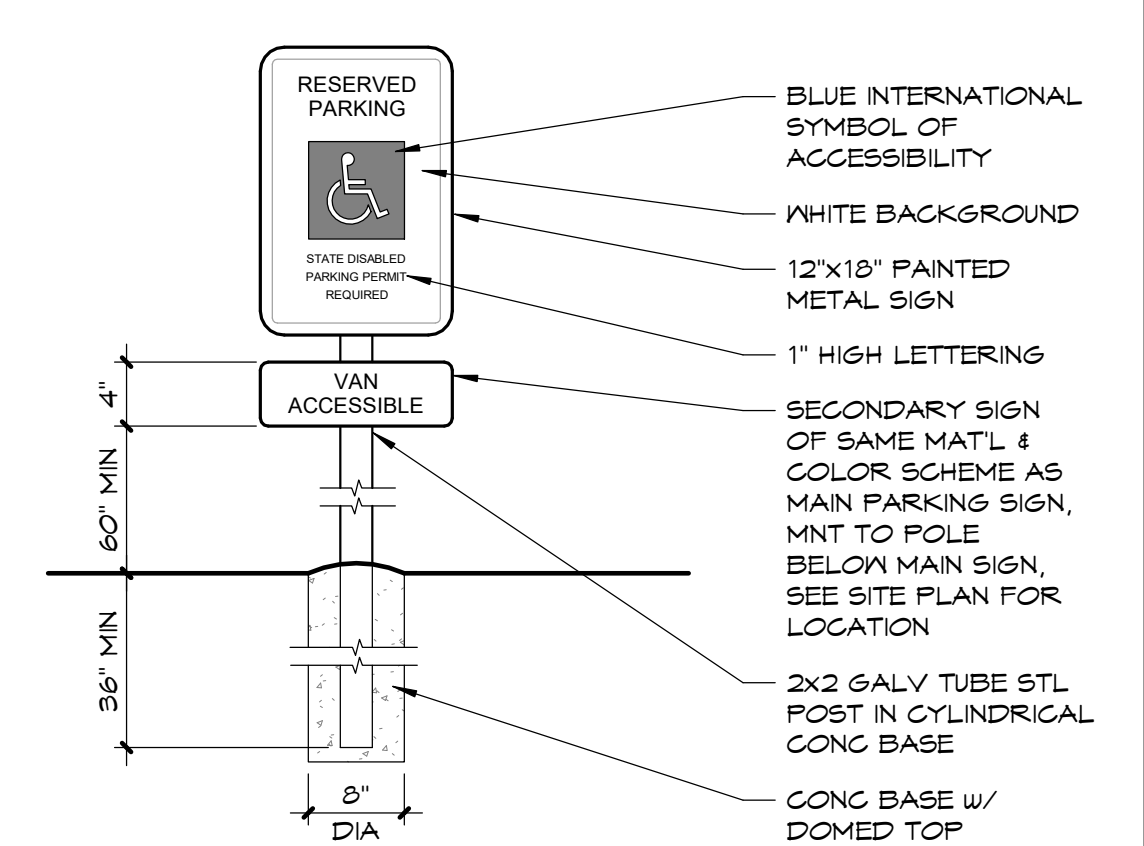
12 EXT RAMP
1/4" = 1'-0"



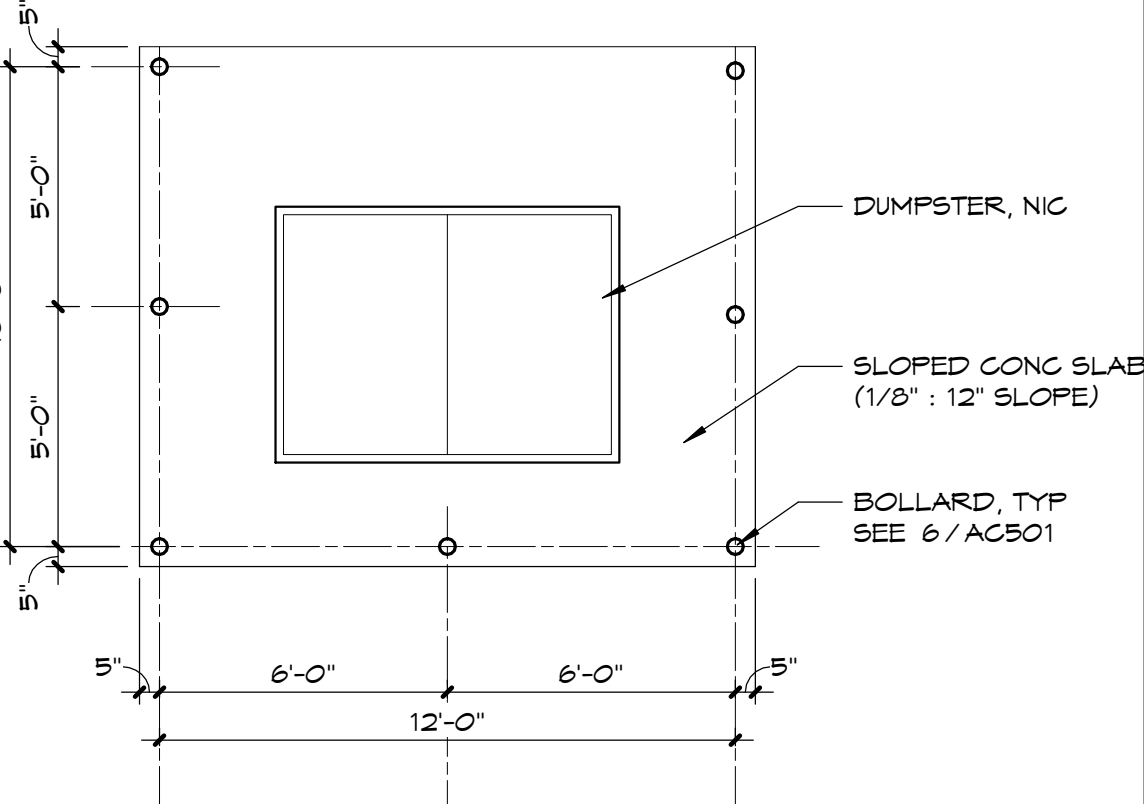
5 PET WASTE STATION
1" = 1'-0"



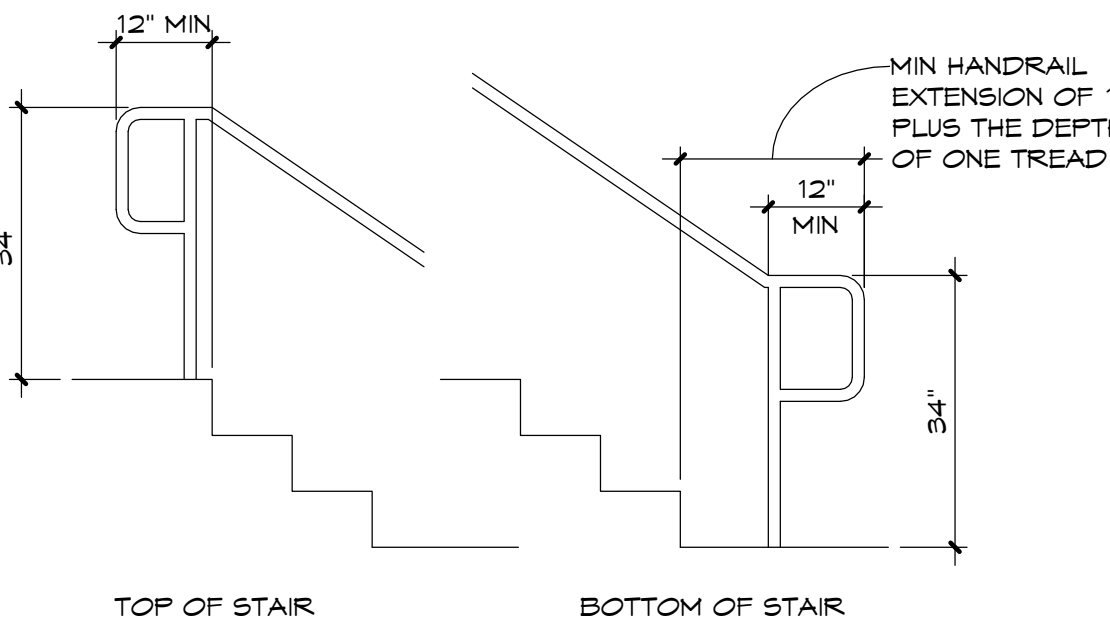
6 BOLLARD
3/4" = 1'-0"



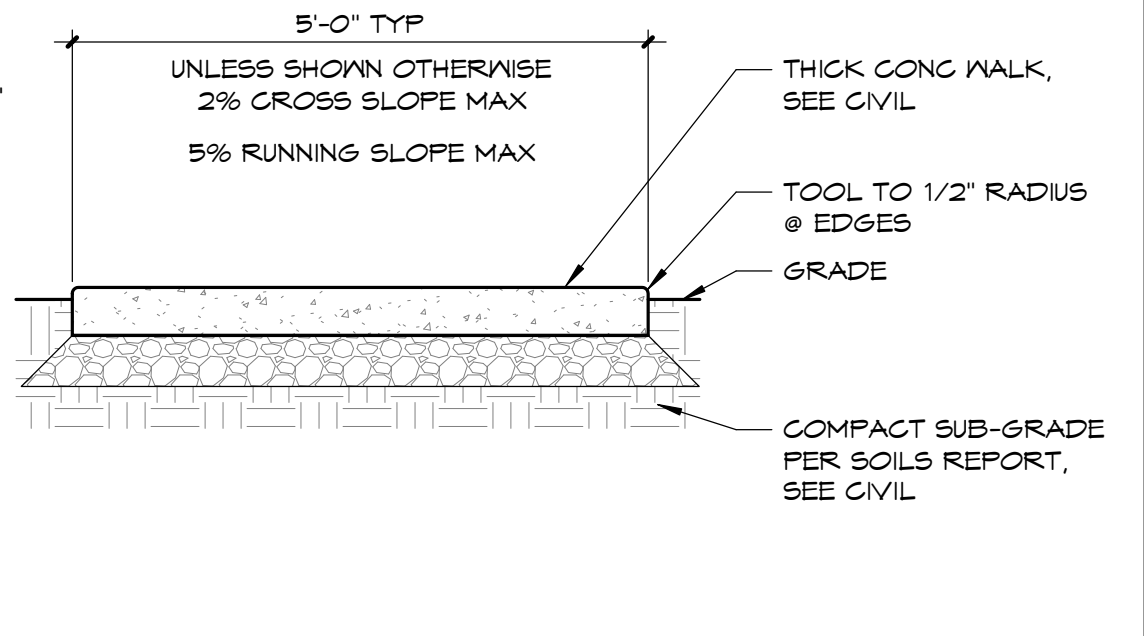
1 ACC PARKING SIGN
1" = 1'-0"



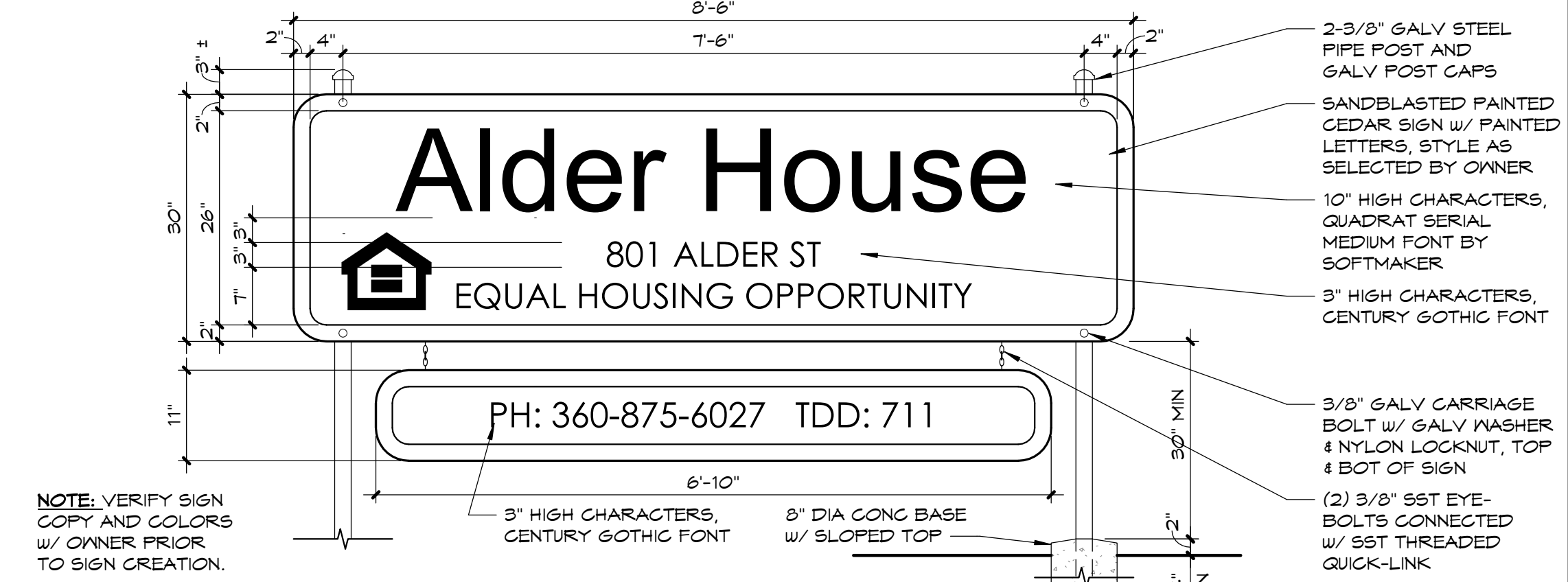
2 TRASH
1/4" = 1'-0"



7 HANDRAIL EXTENSIONS
1/2" = 1'-0"

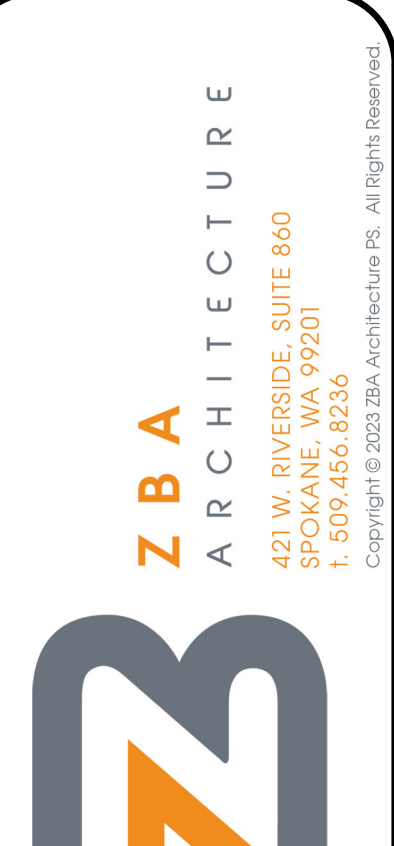


3 TYPICAL SIDEWALK
3/4" = 1'-0"



8 PROJECT SIGN
3/4" = 1'-0"

12/18/2023 1:47:46 PM C:\Revit_Temp\2236_Alder_House_Dred4500.rvt



NO.	DATE	BY
2	12/18/23	SEMB

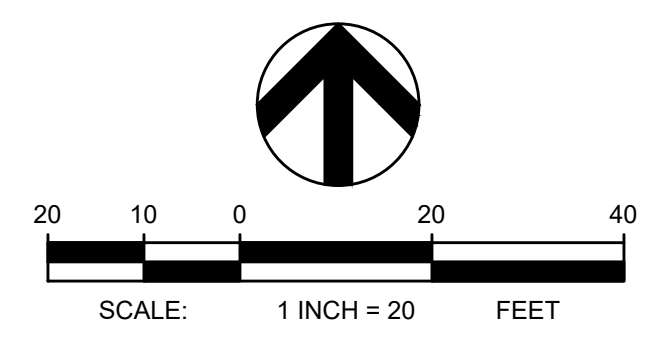
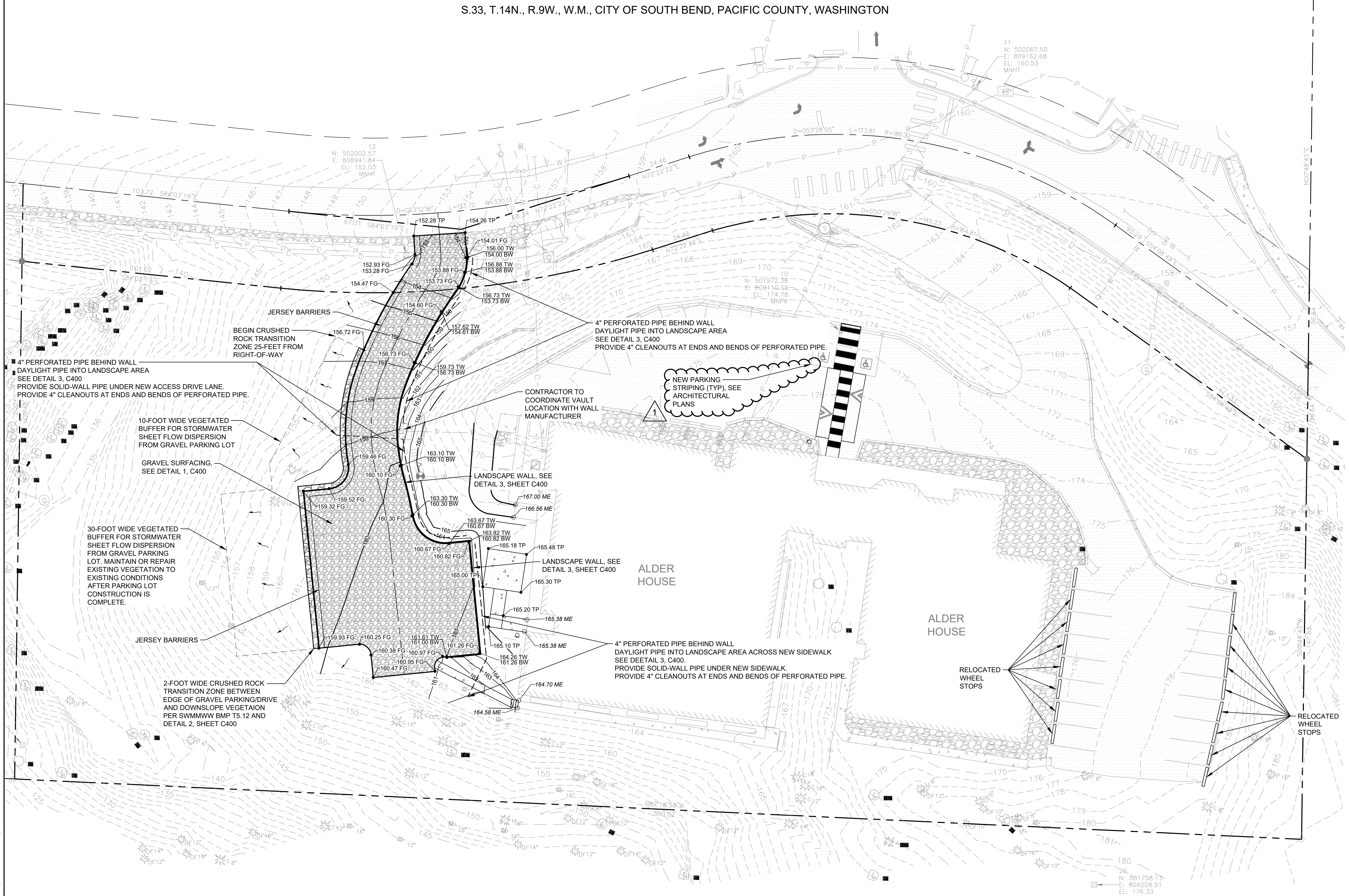
NO.	DATE	BY

SITE DETAILS
ALDER HOUSE - RENOVATION
SOUTH BEND, WASHINGTON
JOINT PACIFIC COUNTY HOUSING AUTHORITY

REGISTERED ARCHITECT
RANDALL SCOT VANHOFF
STATE OF WASHINGTON
12/4/23

PROJECT NO. 2236
DRAWN: NPL
CHECKED: SEMB
DATE: 10/20/2023

AC501



TBM INFORMATION
 SEE TOPOGRAPHIC SURVEY BY MTN2COAST
 DATED 08/01/2023 FOR TBM INFORMATION

MONUMENT PRESERVATION
 DISTURBING EXISTING SURVEY MONUMENTS (PROPERTY CORNERS OR KNOWN RECORDED MONUMENTS) IS A GROSS MISDEMEANOR PER RCW 58.04.015. CONTRACTOR SHALL PROTECT ALL EXISTING PROPERTY CORNERS. IF ANY MONUMENTS ARE IN AREAS THAT WILL BE DISTURBED, THE CONTRACTOR SHALL RETAIN A PROFESSIONAL LAND SURVEYOR TO FOLLOW WAC 332-120. ANY DAMAGE CAUSED BY CONSTRUCTION ACTIVITIES SHALL BE REMEDIATED AT THE CONTRACTOR'S EXPENSE.

ABBREVIATIONS

AVR	AIR-VACUUM RELEASE
BMP	BEST MANAGEMENT PRACTICE
BW	BOTTOM OF WALL
FF	FINISHED FLOOR
FG	FINISHED GRADE
PIV	POST INDICATOR VALVE
SWMMWW	STORMWATER MANAGEMENT MANUAL FOR WESTERN WASHINGTON
TP	TOP OF PAVEMENT
TS	TOP OF SIDEWALK
TW	TOP OF WALL

LEGEND

	GRAVEL SURFACING
	CONCRETE SIDEWALK
	EXISTING CONTOUR
	PROPOSED CONTOUR
	PROPERTY LINE
	RETAINING WALL
	WATER PIPE
	AVR RISER
	PIV
	SPOT ELEVATION

NOTES

- REFER TO SHEET C001 FOR GENERAL NOTES.
- REFER TO SHEET C101 FOR EROSION AND SEDIMENT CONTROL DETAILS.

THE EXISTING INFORMATION SHOWN ON THESE PLANS IS PER THE SURVEY COMPLETED BY:
 MTN2COAST LLC
 2320 MOTTMAN RD SW, STE 106
 TUMWATER, WA 98512
 360.688.1949
 DATED: 08/01/2023
 THE CONTRACTOR SHALL VERIFY EXISTING SITE CONDITIONS AND CONTACT THE ENGINEER IF DISCREPANCIES ARE NOTED.

UTILITY STATEMENT
 LOCATION OF EXISTING UNDERGROUND UTILITIES HAVE BEEN TAKEN FROM DRAWINGS AND FIELD LOCATES SUPPLIED BY THE APPROPRIATE UTILITY COMPANIES. UTILITY LOCATIONS SHOWN ON THIS DRAWING ARE APPROXIMATE ONLY. PRIOR TO BEGINNING ANY CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF EACH UTILITY.



1	12/18/2023	CAJ
NO.	DATE	BY
REVISIONS		

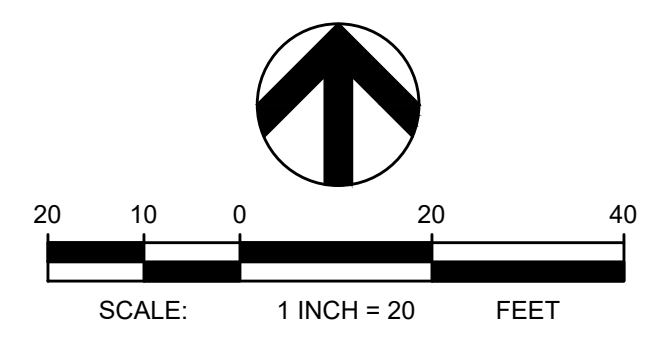
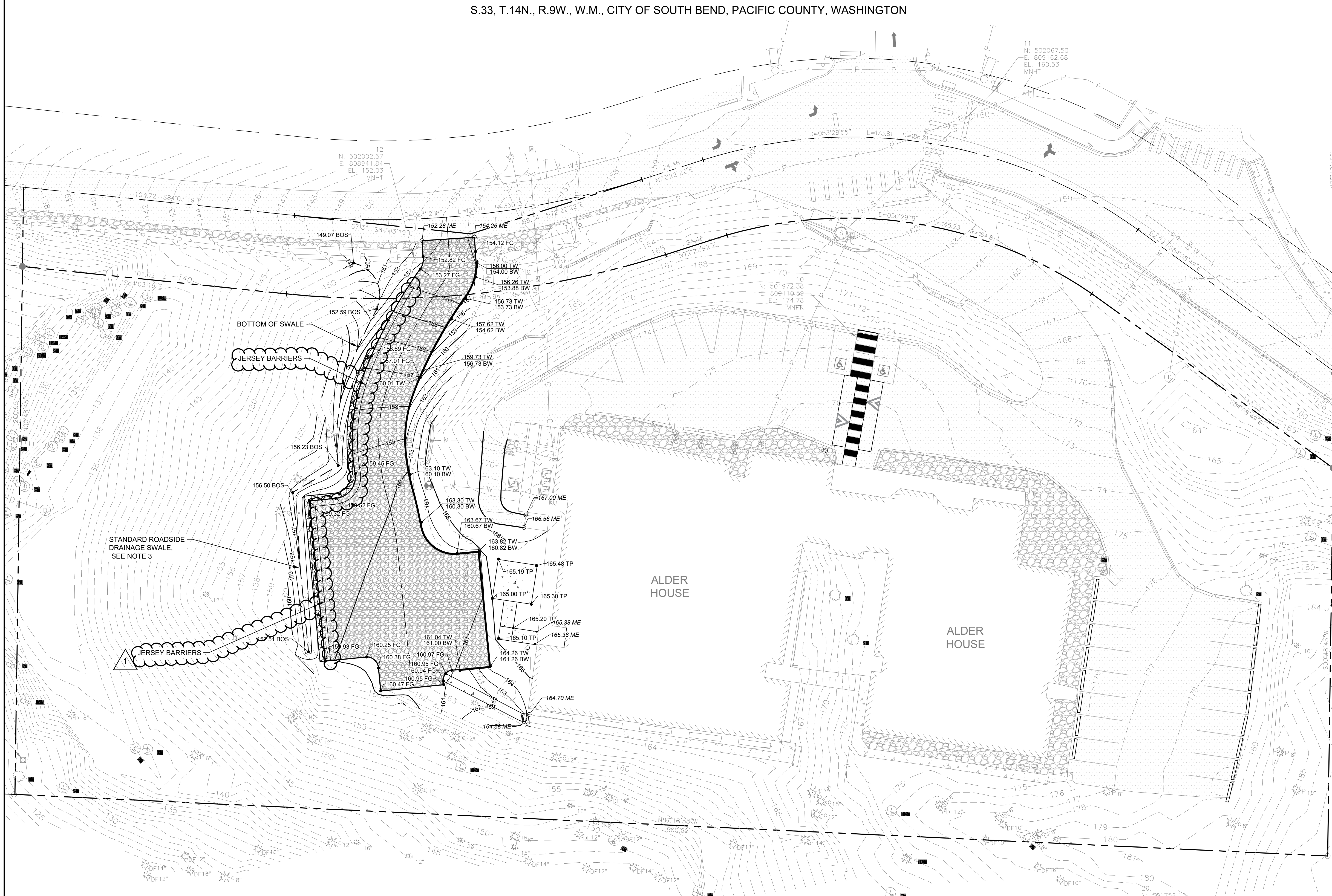


PRELIMINARY GRADING & DRAINAGE PLAN
 ALDER HOUSE — RENOVATION
 SOUTH BEND, WASHINGTON
 JOINT PACIFIC COUNTY HOUSING AUTHORITY



PROJECT NO: 2236
 DRAWN: IJS
 CHECKED: RMM
 DATE: 12/18/2023
 DRAWING NO:

C200



TBM INFORMATION
 SEE TOPOGRAPHIC SURVEY BY MTN2COAST
 DATED 08/01/2023 FOR TBM INFORMATION

MONUMENT PRESERVATION

DISTURBING EXISTING SURVEY MONUMENTS (PROPERTY CORNERS OR KNOWN RECORDED MONUMENTS) IS A GROSS MISDEMEANOR PER RCW 58.04.015. CONTRACTOR SHALL PROTECT ALL EXISTING PROPERTY CORNERS. IF ANY MONUMENTS ARE IN AREAS THAT WILL BE DISTURBED, THE CONTRACTOR SHALL RETAIN A PROFESSIONAL LAND SURVEYOR TO FOLLOW WAC 332-120. ANY DAMAGE CAUSED BY CONSTRUCTION ACTIVITIES SHALL BE REMEDIATED AT THE CONTRACTOR'S EXPENSE.

ABBREVIATIONS

AVR	AIR-VACUUM RELEASE
BMP	BEST MANAGEMENT PRACTICE
BW	BOTTOM OF WALL
FF	FINISHED FLOOR
FG	FINISHED GRADE
PIV	POST INDICATOR VALVE
SWMMWW	STORMWATER MANAGEMENT MANUAL FOR WESTERN WASHINGTON
TP	TOP OF PAVEMENT
TS	TOP OF SIDEWALK
TW	TOP OF WALL

LEGEND

	ASPHALT SURFACING
	CONCRETE SIDEWALK
	EXISTING CONTOUR
	PROPOSED CONTOUR
	PROPERTY LINE
	RETAINING WALL
	WATER PIPE
	AVR RISER
	PIV
	SPOT ELEVATION

NOTES

- REFER TO SHEET C001 FOR GENERAL NOTES.
- REFER TO SHEET C101 FOR EROSION AND SEDIMENT CONTROL DETAILS.
- STANDARD ROADSIDE DRAINAGE SWALE PER CITY OF SOUTH BEND STANDARD DRAWING RDR.
- BID ALTERNATE INCLUDES REMOVAL OF NATURAL DISPERSION BUFFER ROCK AND VEGETATION MAINTENANCE AND THE ADDITION OF A STANDARD ROADSIDE SWALE TO CONVEY PARKING AND DRIVE LANE RUNOFF TO THE EXISTING DITCH AND SWALE. ALL OTHER ITEMS ARE SIMILAR TO C200.

THE EXISTING INFORMATION SHOWN ON THESE PLANS IS PER THE SURVEY COMPLETED BY:
 MTN2COAST LLC
 2320 MOTTMAN RD SW, STE 106
 TUMWATER, WA 98512
 360.688.1949
 DATED: 08/01/2023
 THE CONTRACTOR SHALL VERIFY EXISTING SITE CONDITIONS AND CONTACT THE ENGINEER IF DISCREPANCIES ARE NOTED.

UTILITY STATEMENT
 LOCATION OF EXISTING UNDERGROUND UTILITIES HAVE BEEN TAKEN FROM DRAWINGS AND FIELD LOCATES SUPPLIED BY THE APPROPRIATE UTILITY COMPANIES. UTILITY LOCATIONS SHOWN ON THIS DRAWING ARE APPROXIMATE ONLY. PRIOR TO BEGINNING ANY CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF EACH UTILITY.



NO.	DATE	CAJ	BY
1	12/18/2023		

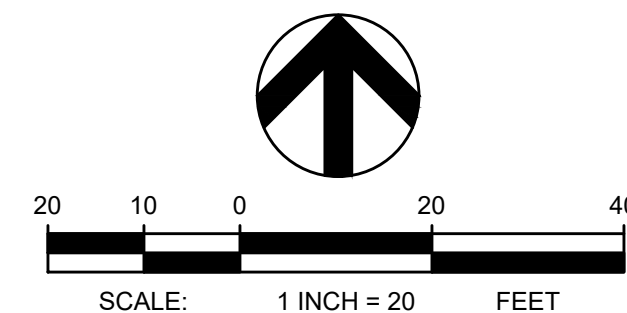


PRELIMINARY GRADING & DRAINAGE PLAN - ALTERNATE
ALDER HOUSE - RENOVATION
 SOUTH BEND, WASHINGTON
 JOINT PACIFIC COUNTY HOUSING AUTHORITY



PROJECT NO. **2236**
 DRAWN: **IJS**
 CHECKED: **RMM**
 DATE: **12/18/2023**
 DRAWING NO.

C200A



TBM INFORMATION
SEE TOPOGRAPHIC SURVEY BY MTN2COAST
DATED 08/01/2023 FOR TBM INFORMATION

MONUMENT PRESERVATION

DISTURBING EXISTING SURVEY MONUMENTS (PROPERTY CORNERS OR KNOWN RECORDED MONUMENTS) IS A GROSS MISDEMEANOR PER RCW 58.04.015. CONTRACTOR SHALL PROTECT ALL EXISTING PROPERTY CORNERS. IF ANY MONUMENTS ARE IN AREAS THAT WILL BE DISTURBED, THE CONTRACTOR SHALL RETAIN A PROFESSIONAL LAND SURVEYOR TO FOLLOW WAC 332-120. ANY DAMAGE CAUSED BY CONSTRUCTION ACTIVITIES SHALL BE REMEDIATED AT THE CONTRACTOR'S EXPENSE.

ABBREVIATIONS

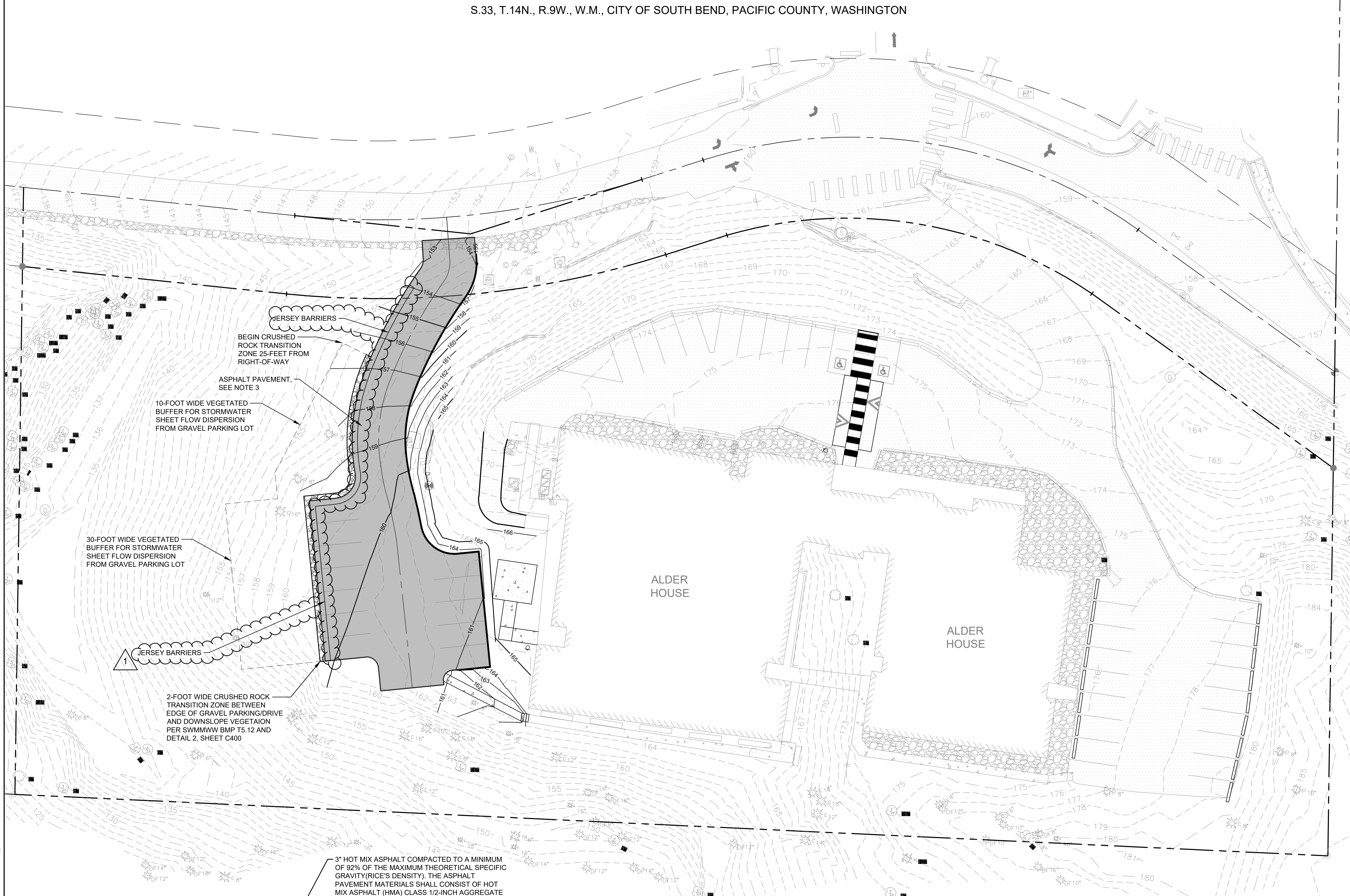
AVR	AIR-VACUUM RELEASE
BMP	BEST MANAGEMENT PRACTICE
BW	BOTTOM OF WALL
FF	FINISHED FLOOR
PIV	POST INDICATOR VALVE
SWMMWW	STORMWATER MANAGEMENT MANUAL FOR WESTERN WASHINGTON
TP	TOP OF PAVEMENT
TS	TOP OF SIDEWALK
TW	TOP OF WALL

LEGEND

	ASPHALT SURFACING
	CONCRETE SIDEWALK
	PROPERTY LINE
	RETAINING WALL
	AVR RISER
	PIV

NOTES

- REFER TO SHEET C001 FOR GENERAL NOTES.
- REFER TO SHEET C101 FOR EROSION AND SEDIMENT CONTROL DETAILS.
- SEE DETAIL A, THIS SHEET, FOR STANDARD ASPHALT SECTION.
- BID ALTERNATE INCLUDES SUBSTITUTION OF ASPHALT SURFACING FOR GRAVEL SURFACING. ALL OTHER BID ITEMS REMAIN SIMILAR TO C200.



JERSEY BARRIERS
BEGIN CRUSHED ROCK TRANSITION ZONE 25-FOOT FROM RIGHT-OF-WAY

ASPHALT PAVEMENT, SEE NOTE 3

10-FOOT WIDE VEGETATED BUFFER FOR STORMWATER SHEET FLOW DISPERSION FROM GRAVEL PARKING LOT

30-FOOT WIDE VEGETATED BUFFER FOR STORMWATER SHEET FLOW DISPERSION FROM GRAVEL PARKING LOT

JERSEY BARRIERS

2-FOOT WIDE CRUSHED ROCK TRANSITION ZONE BETWEEN EDGE OF GRAVEL PARKING/DRIVE AND DOWNSLOPE VEGETATION PER SWMMWW BMP T5.12 AND DETAIL 2, SHEET C400

3" HOT MIX ASPHALT COMPACTED TO A MINIMUM OF 92% OF THE MAXIMUM THEORETICAL SPECIFIC GRAVITY (RICE'S DENSITY). THE ASPHALT PAVEMENT MATERIALS SHALL CONSIST OF HOT MIX ASPHALT (HMA) CLASS 1/2-INCH AGGREGATE WITH A PG 64-28 ASPHALT BINDER. COMPLY WITH WSDOT STANDARD SPECIFICATION 5-04.

12" CRUSHED ROCK BASE/TOP COURSE (WSDOT SPECIFICATIONS 9-03.9(3) FOR CRUSHED SURFACING), COMPACTED TO AT LEAST 95% OF THE MODIFIED PROCTOR MAXIMUM DRY DENSITY.

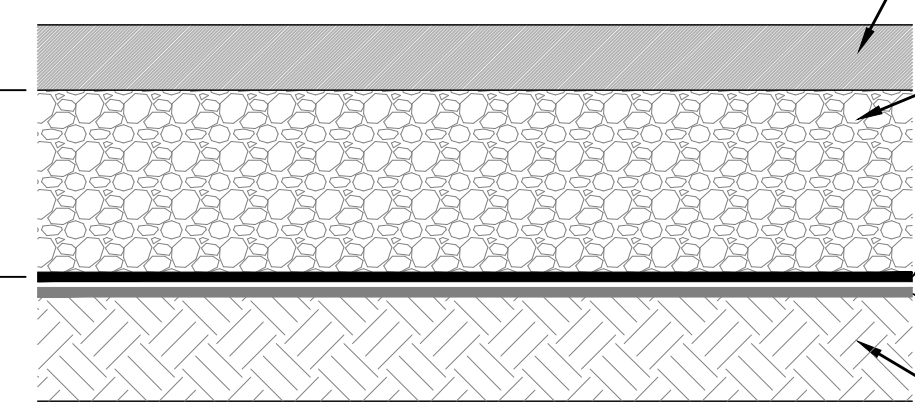
TENSAR TX-160 GEOGRID

PROVIDE SEPARATION FABRIC, MIRAFI-RS3801 GEOSYNTHETIC, OR SIMILAR, BELOW GEOGRID

COMPACTED SUBGRADE OR STRUCTURAL FILL (WSDOT SPECIFICATIONS 9-03.14(2) FOR SELECT BORROW) TO REQUIRED SUBGRADE ELEVATION. SCARIFY, MOISTEN OR DRY TO WITHIN 3% OF OPTIMUM MOISTURE, AND RE-COMPACT A MINIMUM OF 8" OF EXISTING SUBGRADE, COMPACTED TO AT LEAST 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D 1557

NOTES

- PLACE ACCEPTABLE SOIL MATERIAL IN LAYERS TO REQUIRED SUBGRADE ELEVATION.
- MATERIAL AND COMPACTION REQUIREMENTS SHALL CONFORM WITH THE RECOMMENDATIONS OF THE PROJECT GEOTECHNICAL ENGINEERING REPORT.
- IF EXISTING SUBGRADE SOIL CONDITIONS INHIBIT PROPER COMPACTION, OVER EXCAVATE A MINIMUM 12" AND REPLACE WITH APPROVED ONSITE MATERIAL OR IMPORTED MATERIAL. COORDINATE WITH THE GEOTECHNICAL ENGINEER.
- COMPACTION EFFORTS AND MASS GRADING SHALL BE MONITORED AND TESTED BY AN EXPERIENCED SOILS TECHNICIAN, UNDER THE SUPERVISION OF A LICENSED GEOTECHNICAL ENGINEER REPRESENTING THE OWNER.



A ASPHALT SECTION
SCALE: NTS

THE EXISTING INFORMATION SHOWN ON THESE PLANS IS PER THE SURVEY COMPLETED BY:
MTN2COAST LLC
2320 MOTTMAN RD SW, STE 106
TUMWATER, WA 98512
360.688.1949
DATED: 08/01/2023
THE CONTRACTOR SHALL VERIFY EXISTING SITE CONDITIONS AND CONTACT THE ENGINEER IF DISCREPANCIES ARE NOTED.

UTILITY STATEMENT
LOCATION OF EXISTING UNDERGROUND UTILITIES HAVE BEEN TAKEN FROM DRAWINGS AND FIELD LOCATES SUPPLIED BY THE APPROPRIATE UTILITY COMPANIES. UTILITY LOCATIONS SHOWN ON THIS DRAWING ARE APPROXIMATE ONLY. PRIOR TO BEGINNING ANY CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF EACH UTILITY.



1	12/18/2023	CAJ
NO.	DATE	BY
REVISIONS		



PRELIMINARY PAVEMENT PLAN - ALTERNATE
ALDER HOUSE - RENOVATION
SOUTH BEND, WASHINGTON
JOINT PACIFIC COUNTY HOUSING AUTHORITY



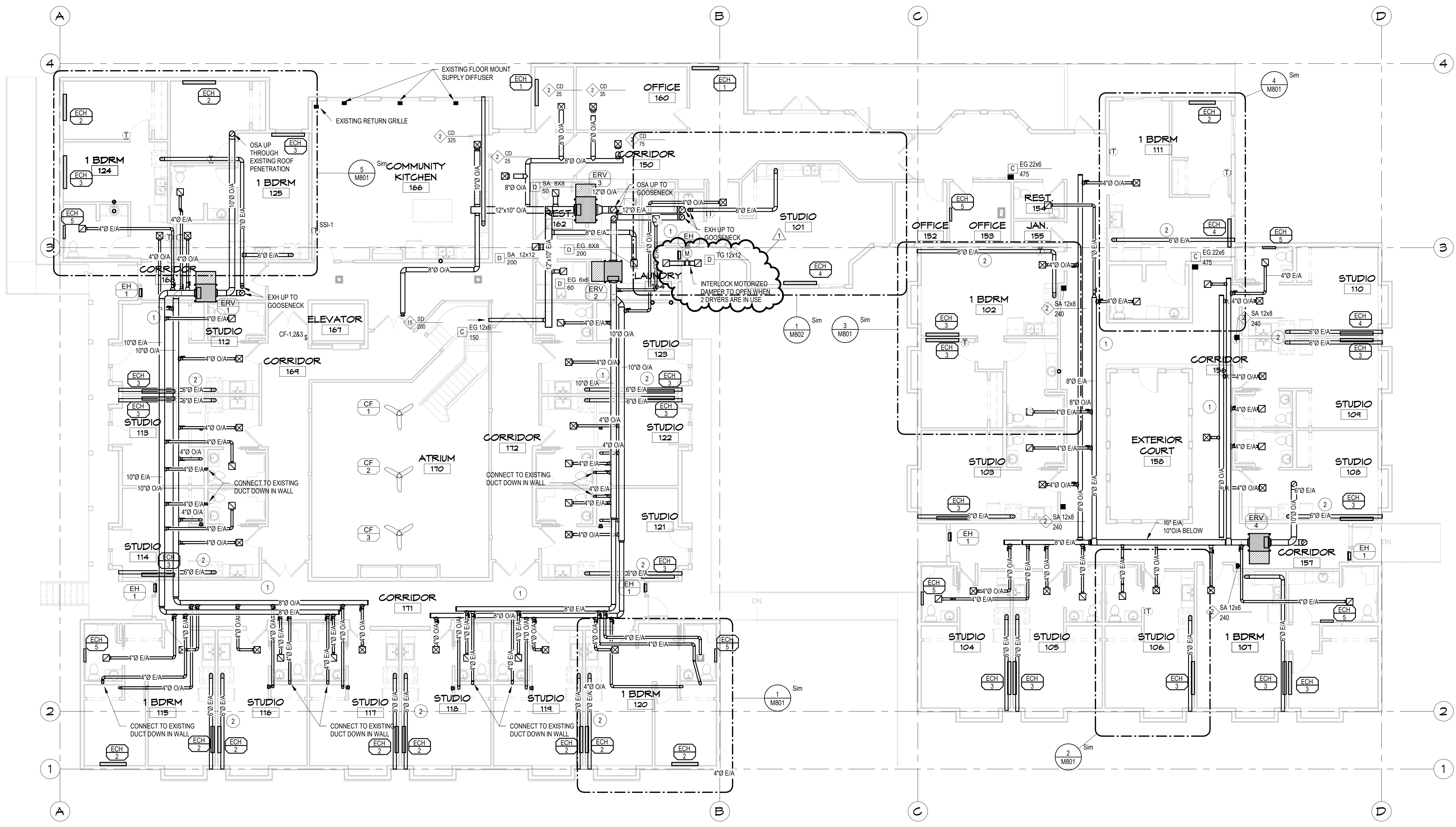
PROJECT NO.	2236
DRAWN:	IJS
CHECKED:	RMM
DATE:	12/18/2023
DRAWING NO.	

C201A

D:\joseph\Revit\Alder House_MECH-23_joe.056\V6.rvt 12/10/2023 12:39:55 PM

KEYNOTES

- 1 DUCTWORK TO RUN IN ATTIC SPACE. ANY PENETRATIONS THROUGH SMOKE PARTITIONS MUST BE SEALED TO PROVIDE A BARRIER.
- 2 FUME HOOD DUCTWORK IN SOFFIT. SEE A411 & A412 FOR SOFFIT LOCATIONS.



MAIN LEVEL FLOOR PLAN
1/8" = 1'-0"

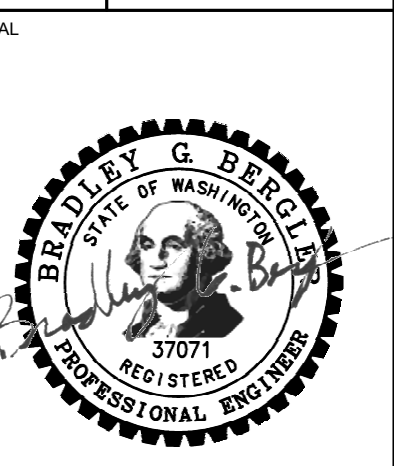


1	12/18/23	JME
NO.	DATE	BY
REVISIONS		

LS Engineering
High Performance Design

The Commission Building, West 706 Pacific Avenue, Suite 211, Spokane, WA 99201
509.747.2919
www.lse.com

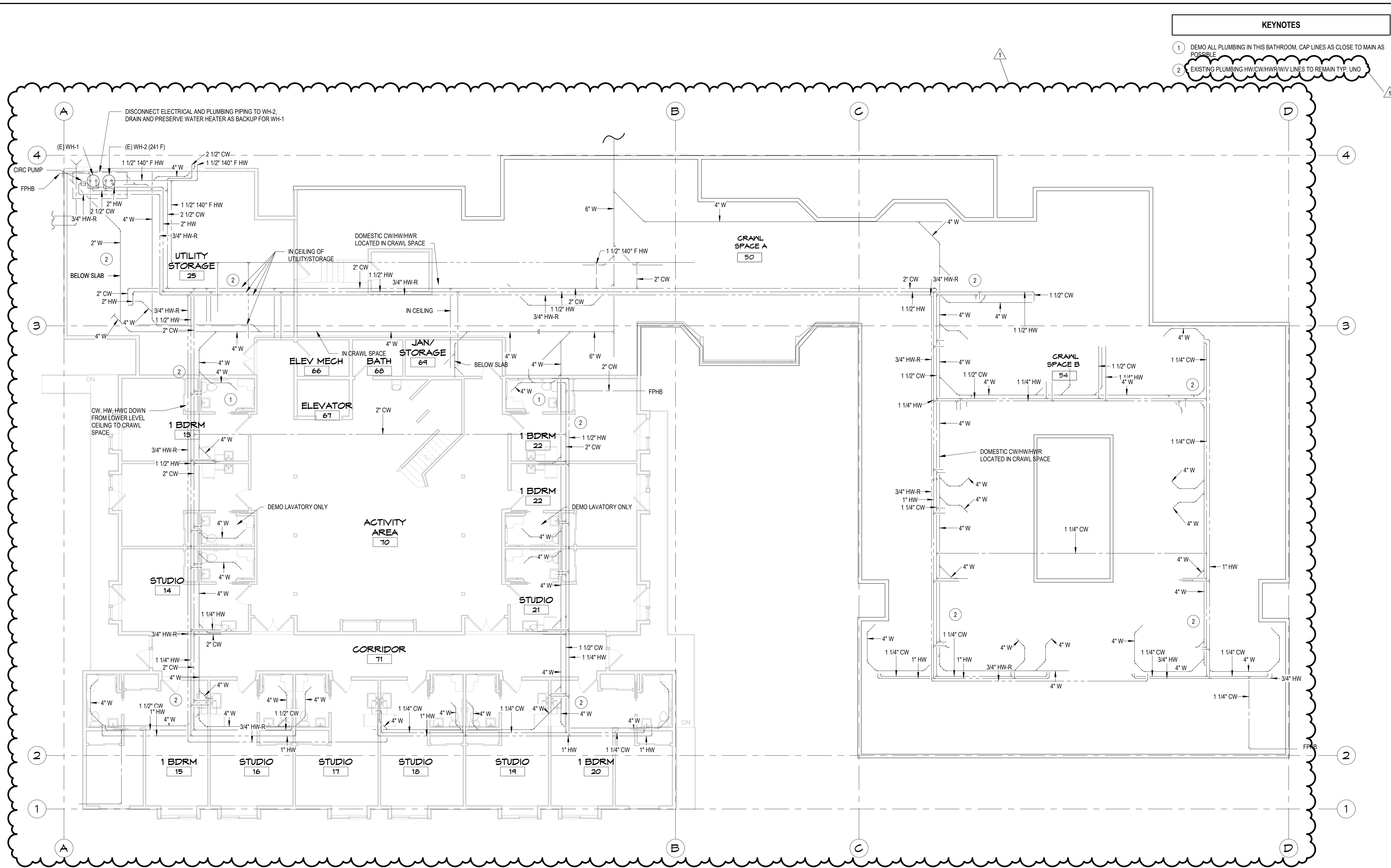
MAIN LEVEL FLOOR PLAN
PROJECT TITLE
ALDER HOUSE - RENOVATION
ASSISTED LIVING FACILITY
SOUTH BEND, WASHINGTON



PROJECT NO.	2236
DRAWN:	JME/DJL
CHECKED:	BGB
DATE:	10/20/2023
DRAWING NO.	

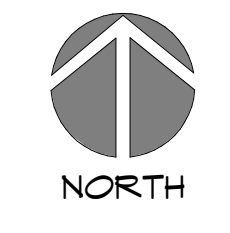
M601

D:\joele\Revit\Alder House_MECH-23_joele55v\6.rvt 12/18/2023 12:39:04 PM



- KEYNOTES**
- 1 DEMO ALL PLUMBING IN THIS BATHROOM, CAP LINES AS CLOSE TO MAIN AS POSSIBLE
 - 2 EXISTING CLOTHING HW/CW/HWR/WV LINES TO REMAIN TYP. UNO

LOWER LEVEL DEMOLITION PLUMBING FLOOR PLAN
 1/8" = 1'-0"

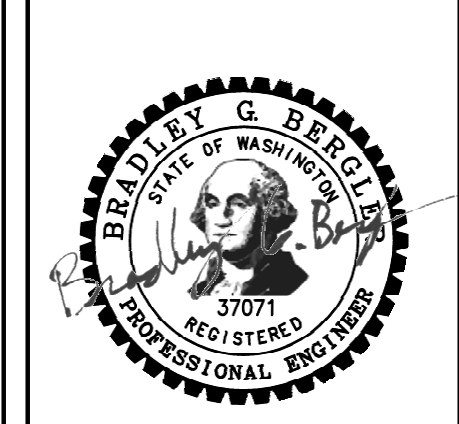


ZBA ARCHITECTURE
 421 W. RIVERSIDE, SUITE 860
 SPOKANE, WA 99201
 T. 509.456.8236
 Copyright © 2023 ZBA Architecture PS. All Rights Reserved.

NO.	DATE	BY
1	12/18/23	JME

L:Engineering
 High Performance Design
 The Commission Building, West 206 Pacific Avenue, Suite 211, Spokane, WA 99201
 Fax: 509.747.2286
 www.lengineering.com

LOWER LEVEL DEMOLITION PLUMBING FLOOR PLAN
ALDER HOUSE - RENOVATION
 ASSISTED LIVING FACILITY
 SOUTH BEND, WASHINGTON



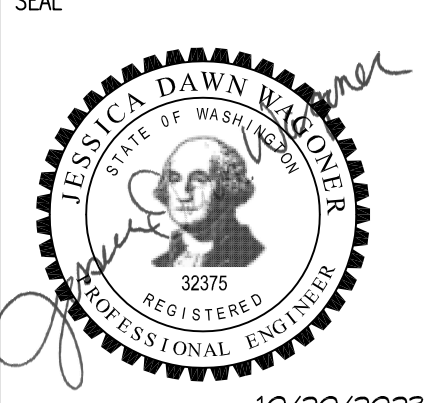
PROJECT NO.	2236
DRAWN:	JME/DJL
CHECKED:	BGB
DATE:	10/20/2023
DRAWING NO.	

P202

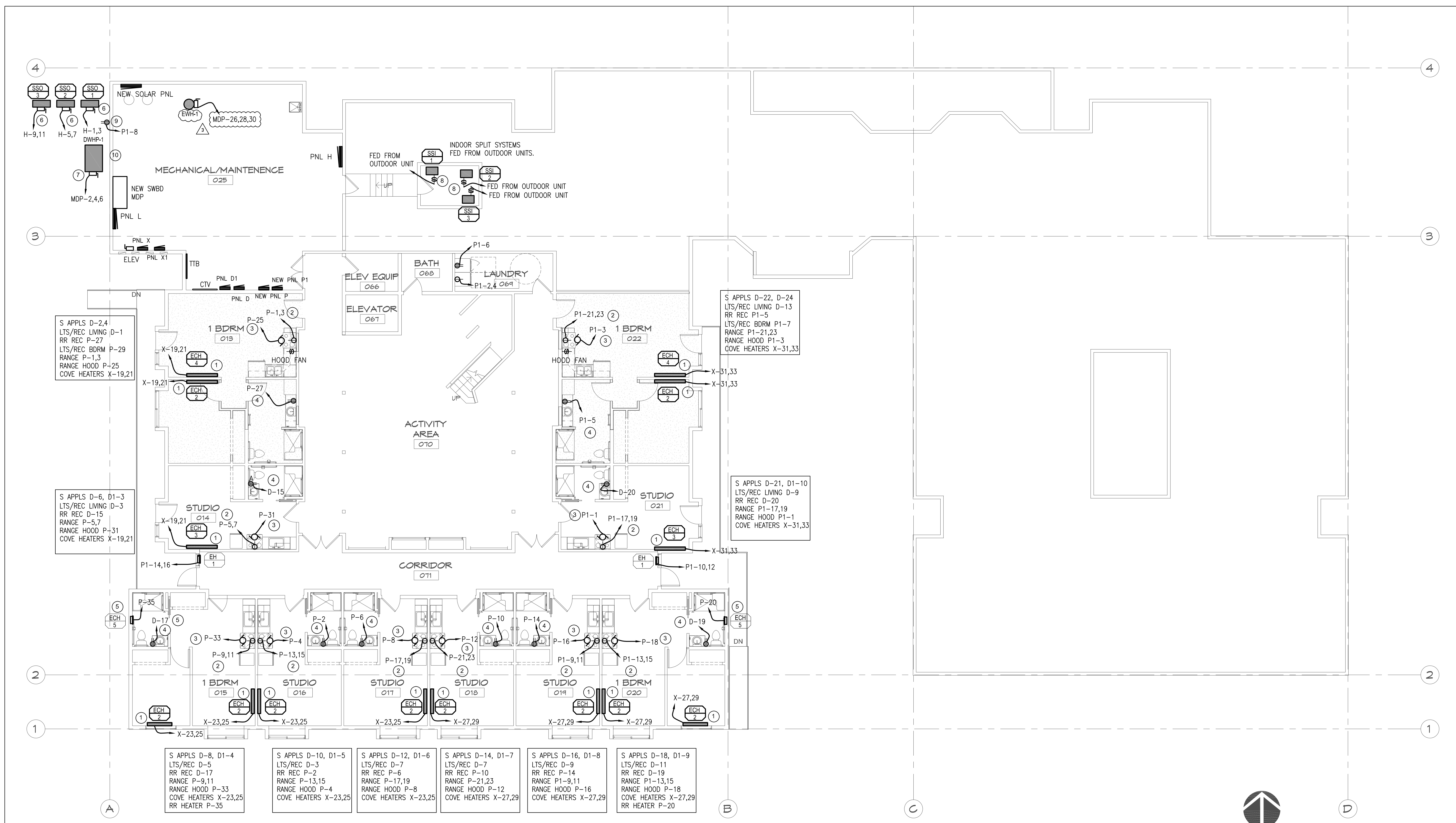
12.19.2023	HMR	
No.	DATE	BY

L:Engineering
 High Performance Design
 The Commercial Building, West 216 Pacific Avenue, Suite 211, Spokane, WA 99201
 (509) 747-2179 Fax: (509) 747-2186 www.leng.com

SHEET TITLE: LOWER LEVEL POWER PLAN
 PROJECT TITLE: ALDER HOUSE - RENOVATION
 ASSISTED LIVING FACILITY
 SOUTH BEND, WASHINGTON



PROJECT NO.	2236
DRAWN	HMR
CHECKED	JDM
DATE	10/20/2023
DRAWING NO.	E202



LOWER LEVEL FLOOR PLAN
 1/8" = 1'-0"

GENERAL NOTES:

- REFER TO ARCHITECTURAL DRAWINGS AND INDIVIDUAL UNIT TYPE ROOM LAYOUTS FOR LOCATIONS OF OUTLETS AND FIXTURES.
- FIXTURES EQUAL TO THOSE LISTED IN THE LIGHT FIXTURE SCHEDULE MAY BE USED IF APPROVED BY ARCHITECT. ALL FIXTURES MUST BE ENERGY STAR RATED.
- ALL RECEPTACLES SHALL BE TAMPER-RESISTANT.
- PROVIDE GFI RECEPTACLES FOR BATHROOMS, KITCHEN COUNTERTOPS, LAUNDRY AREAS, AND WITHIN 6 FEET OF SINKS.
- PROVIDE ARC FAULT CIRCUIT INTERRUPTER PROTECTION ON ALL BREAKERS FEEDING 120V CIRCUITS IN KITCHENS, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, BEDROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, LAUNDRY AREAS OR SIMILAR ROOMS.
- PROVIDE 120VAC CIRCUIT TO ALL SMOKE/CARBON MONOXIDE DETECTORS AND ALARMS. DETECTOR SHALL RECEIVE THEIR POWER FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH BATTERY BACK-UP. DETECTION WITHIN AN APARTMENT UNIT WILL ACTIVATE EACH SOUNDER BASE WITHIN THE UNIT BUT NOT THE BUILDING WIDE FIRE ALARM PANEL OR EMERGENCY SERVICES.

KEYED NOTES:

- EXTEND BASEBOARD HEATER CIRCUIT TO NEW COVE HEATER. EXTEND WIRES AS NECESSARY. PROVIDE BLANK PLATE OVER EXISTING JUNCTION BOX.
- PROVIDE NEW CIRCUIT FOR APARTMENT STOVE.
- PROVIDE NEW CIRCUIT FOR APARTMENT RANGE HOOD.
- BATHROOM CIRCUITS SHALL BE BROKEN UP BETWEEN APARTMENTS. PROVIDE NEW CIRCUITS AS SHOWN.
- PROVIDE NEW CIRCUIT FOR APARTMENT BATHROOM HEATERS.
- WIRE BATHROOM FANS TO THE LIGHTS. FANS SHALL BE ACTIVATED BY MOTION SENSOR AND HUMIDITY SENSOR. SEE MECHANICAL FOR FAN LOCATIONS AND SPECIFICATIONS.
- PLANS ARE DIAGRAMMATIC ONLY. ADJUST DEVICES AS NEEDED TO MATCH STUD SPACING.
- OUTLETS ON PARTY WALLS MUST HAVE A 24" MINIMUM SEPARATION BETWEEN UNITS.
- ADA UNITS SHALL BE PROVIDED WITH FIRE ALARM STROBES IN ALL BEDROOMS, BATHROOMS, AND COMMON AREAS.
- ELECTRICAL OUTLETS AND SWITCHES TO BE MOUNTED WITH TOP OF BOX AT 47" A.F.F..
- ALL ACCESSIBLE UNITS TO HAVE (2) SWITCHES AT ADA HEIGHT FOR RANGE HOOD CONTROLS. PROVIDE OUTLET EXTENDERS FOR THE COUNTER TOP RECEPTACLES.
- ALL COMMON AREA SMOKE DETECTION SHALL INITIATE BUILDING WIDE ALERT AND CALL EMERGENCY SERVICES.
- PROVIDE STRUCTURED WIRING PANEL FOR DISTRIBUTION OF DATA/CABLE TV WITHIN UNITS. MOUNT IN CLOSET ABOVE SHELF. PROVIDE A RECEPTACLE ADJACENT TO WIRING PANEL. TO EACH STRUCTURED PANEL ROUTE AN RG11 CABLE AND A CAT6 CABLE. FROM EACH OUTLET WITHIN THE TENANT SPACE ROUTE A RG6 AND A CAT6 CABLE.

KEYED NOTES:

- EXTEND BASEBOARD HEATER CIRCUIT TO NEW COVE HEATER. EXTEND WIRES AS NECESSARY. PROVIDE BLANK PLATE OVER EXISTING JUNCTION BOX.
- PROVIDE NEW CIRCUIT FOR APARTMENT STOVE.
- PROVIDE NEW CIRCUIT FOR APARTMENT RANGE HOOD.
- BATHROOM CIRCUITS SHALL BE BROKEN UP BETWEEN APARTMENTS. PROVIDE NEW CIRCUITS AS SHOWN.
- PROVIDE NEW CIRCUIT FOR APARTMENT BATHROOM HEATERS.
- PROVIDE NEMA 3R FUSIBLE DISCONNECTS FOR OUTDOOR SPLIT SYSTEM UNITS. PROVIDE CONNECTION TO INDOOR UNITS PER MANUFACTURERS RECOMMENDATIONS.
- PROVIDE NEMA 3R FUSIBLE DISCONNECT FOR DOMESTIC HOT WATER HEAT PUMP.
- PROVIDE NEMA 1 DISCONNECT SWITCH FOR INDOOR SPLIT SYSTEM UNITS.
- MAINTENANCE RECEPTACLE, PROVIDE WATERPROOF BOX.
- PROVIDE IOTA IIS-375-1 EMERGENCY BATTERY BACK-UP INVERTER TO POWER HEAT TAPE FOR DWHP-1.